



AGENDA
Fairview Fire Protection District Regular Board Meeting
Monday, November 18, 2024, 7:00 P.M.
FIRE STATION 8
25862 FIVE CANYONS PARKWAY, CASTRO VALLEY, CA 94552



PUBLIC PARTICIPATION FOR ONLINE OBSERVERS

Fairview Fire Protection District encourages public participation by online observers of its meetings, including in any of the following ways.

OBSERVE:

- To observe the meeting by video conference, at the noticed meeting time in the header above, please click on this link, or input the link into your web browser's URL bar:

<https://us06web.zoom.us/j/85931090163>

Zoom's instructions on how to join a meeting by video conference are available at: <https://support.zoom.us/hc/en-us/articles/201362193>, which is a webpage address that provides a tutorial video entitled "Joining a Meeting."

- To listen to the meeting by phone, please call one of the numbers below at the noticed meeting time:

Dial (for higher quality, dial a number based on your current location):

+1 253 215 8782 or +1 346 248 7799
or +1 720 707 2699 or +1 301 715 8592
or +1 312 626 6799 or +1 646 558 8656

For each number, please be patient and when requested, dial the following Webinar ID: 85931090163

After calling any of these phone numbers, if you are asked for a participant ID or code, press the pound (#) key.

Zoom's instructions on how to join a meeting by phone are available at: <https://support.zoom.us/hc/en-us/articles/201362663>, which is a webpage address that provides written tutorial instructions entitled "Joining a Meeting By Phone."

PROVIDE PUBLIC COMMENT VIA TELECONFERENCE: There are three ways for online observers to make public comment within the time allotted for public comment on an eligible Agenda item.

- Comment in advance via email. To send your comment directly to the Board and staff BEFORE the meeting starts, please send your comment, along with your full name and agenda item number you are commenting on, to Michael Preston at mike.preston@fairviewfiredistrict.org. Please note that submissions close twenty-four (24) hours before posted meeting time. All submitted public comments will be provided to the Directors prior to the meeting, and the District will momentarily confirm during the meeting itself receipt of any timely email comments.

- By Video Conference. To comment by Zoom video conference, click the "Raise Your Hand" button to request to speak when Public Comment is being taken on an eligible agenda item at the beginning of the meeting. You will then be unmuted, during your turn, and allowed to participate in public comment. After the allotted time, you will then be re-muted. Instructions on how to "Raise Your Hand" are available at: <https://support.zoom.us/hc/en-us/articles/205566129>, which is a webpage entitled "Raise Hand In Webinar."

- By Phone. To comment by phone, please call on one of the above listed phone numbers. You will be prompted to "Raise Your Hand" by pressing STAR-NINE ("*9") to request to speak when Public Comment is being taken on an eligible agenda item at the beginning of the meeting. Once it is your turn, you will be unmuted and allowed to comment. After the allotted time, you will be re-muted. Instructions of how to raise your hand by phone are available at: <https://support.zoom.us/hc/en-us/articles/201362663>, which is a webpage entitled "Joining a Meeting by Phone."



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If you have any questions about these protocols, please e-mail Michael Preston, at mike.preston@fairviewfiredistrict.org.

1. **CALL TO ORDER AND PLEDGE OF ALLEGIANCE**
2. **ROLL CALL: DIRECTORS DIMIC, CHOI, CLARK, JUSTICE, & McDANIEL**
3. **WELCOME:** If you wish to speak on an item which appears on this agenda, the President will call your name when your agenda item is being considered. Please state your name and address for the record. Each speaker is allowed three (3) minutes.
4. **PUBLIC COMMENT PERIOD** (The Public Comments Period provides an opportunity for citizens to address the Board on items not listed on the agenda. The Board welcomes your comments under this section but is prohibited by State law from discussing items not on the agenda.)
5. **MESSAGE FROM THE PRESIDENT** **INFO**
6. **FIRE CHIEF'S REPORT** **INFO/ACTION**
Incident Response Statistics - September/October 2024
Fire Prevention Activity - September/October 2024
Vegetation Management Update
7. **FFPD FINANCIAL UPDATE** **INFO/ACTION**
Cash Balance Report - July/August/September 2024
Accountant's Report - September 2024
Expenditure Report
8. **2025 MEETING CALENDAR** **INFO/ACTION**
January 27, March 31, May 26 (Memorial Day), July 28, September 29,
November 24 (Thanksgiving 11/27)
- BREAK**
9. **BOARD APPROVAL TO FINALIZE AND ISSUE RFP FOR REPAVING PROJECT – THE GENERAL MANAGER WILL SEEK APPROVAL TO FINALIZE THE TECHNICAL SPECIFICATIONS AND OTHER DETAILS OF A REQUEST FOR PROPOSALS TO SEEK BIDS FOR A REPAVING PROJECT AT FIRE STATION 8, 25862 FIVE CANYONS PKWY, CASTRO VALLEY, CA AS FURTHER DETAILED AND DESCRIBED IN THE PACKET.** **INFO/ACTION**



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- | | |
|---|--------------------|
| 10. APPROVAL OF CHANGES TO GOVERNANCE POLICY. THESE WILL ALIGN THE GENERAL MANAGER DUTIES WITH THOSE OUTLINED IN THE GENERAL MANAGER EMPLOYMENT AGREEMENT AND CLARIFY OTHER LANGUAGE IN THE GENERAL MANAGER SECTION. | INFO/ACTION |
| 11. REPORT ON ACSDA MEETING – DIRECTOR McDANIEL | INFO/ACTION |
| 12. GENERAL MANAGER REPORT <ul style="list-style-type: none">• Report on Personal Emergency Preparedness and CERT Class Offerings• Succession Planning Committee | INFO/ACTION |
| 13. BOARD MOTIONS AND APPROVALS
Regular Meeting Minutes - September 30, 2024 | INFO/ACTION |
| 14. MEETING ACTIONS ITEMS SUMMARY | INFO/ACTION |
| 15. COMMENTS BY BOARD MEMBERS | |
| 16. AGENDA ITEMS FOR NEXT BOARD MEETING | |

ADJOURNMENT

In compliance with the Americans with Disabilities Act, for those requiring special assistance to access the videoconference meeting, to access written documents being discussed at the Board meeting, or to otherwise participate at Board meetings, please contact the General Manager, Michael Preston at (510) 583-4930 for assistance. Notification at least 48 hours before the meeting will enable the District to make reasonable arrangements to ensure accessibility to the Board meeting and to provide any required accommodations, auxiliary aids or services.

6. FIRE CHIEF'S REPORT



Response Time Report November 18, 2024

July/August	
Average Response Time	Eng. 8 – 3 min 23 sec. Eng. 9 – 3 min 44 sec. Eng. 1 – 2 min 56 sec.
5 min 50 sec or less	87.6% (149/170)
ERF less than 8 min	100% (3/3)

- **ERF = Effective Response Force (1 – structure fire, 2 – wildland fires)**
- **Response Breakdown in FFPD**
 - **Eng. 1 – 15**
 - **Eng. 8 – 127**
 - **Eng. 9 - 28**



November 5, 2024

To: Eric Vollmer, Interim Fire Chief
Through: Scott Anderson, Deputy Fire Chief
Ryan Hamre, Deputy Fire Chief
From: Miles Massone, Fire Marshal

Re: FFPD Fire Prevention Activity (September-October Bi-Monthly Report)

During the past two months, The Office of the Fire Marshal has been involved in the following activity in the Fairview Fire Protection District:

Performed (14) Fire Inspections (Annual/Fire Protection/Building)

- 5349 Hilltop Rd Fairview Fire Final
- 3291 D St Sprinkler Visual/Hydrostatic Pressure
- 24787 Fairview Ave Sprinkler Visual/Hydrostatic Pressure
- 5262 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 5289 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 5306 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 5290 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 5332 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 5276 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 5318 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 27398 Fairview Ave Sprinkler Visual/Hydrostatic Pressure
- 5349 Hilltop Rd Sprinkler Visual/Hydrostatic Pressure
- 2054 Miller Ct Fairview Fire Final
- 22505 Woodroe Ave Annual, 24hr Community Care Facility, small

Reviewed (2) Referrals for Future Construction/Development

- 24830 Fairview Ave Tentative Tract Map Subdivision: 4 parcels to 29 SFR, 4 open spaces, 1 access road
- 2072 East Ave Subdivide parcel: lot A new ADU & carport, lot B new 2-story SFR & 2-car garage

Performed (8) New Construction Plan Checks for Single Family Residences/Additions

- 5319 Hilltop Rd Install Modular Sales Office for Terrace View Five Canyons per Tract Map 6869
- 22866 Mansfield Ave Completeness check, SFR 4b/4ba with 3-car garage
- 22653 Woodroe Ave New construction, SFR 3b/2.5ba with 2-car garage, split permit for attached ADU
- 3173 Bridle Dr Enlargement of entryway and bathroom, replacement of 4 retrofit windows
- 1801 D St HARD 1-time permit for Special Event 10/18 & 10/19, issued
- 3005 Pickford Way Remodel SFR to meet setback, construct trellis and car porch to front of SFR
- 23051 Henry Ln Convert non-livable basement into 1186-sq ft ADU 2b/2ba
- 23388 Mayor Ct Completeness check, new street name, SFR 4b/3ba, retaining wall at rear

Performed (12) Vegetation Management Complaint Inspections

- 1678 East Ave Dead/dying vegetation on the property Closed - CBO
- 2512 D Street Overgrown vegetation Failed - Second Notice Mailed
- 7 Dunfirth Dr Tree limbs overhanging or touching the roof Closed - In Compliance
- East Ave Dead/dying vegetation on the property Closed - CBO
- Buckeye Dr Overgrown vegetation Closed - CBO

FIRE ADMINISTRATION

HAYWARD FIRE DEPARTMENT
777 B Street, Hayward, CA 94541

T: 510.583.4930
F: 510.583.3640

www.hayward-ca.gov



- 3723 Arbutus Ct	Overgrown vegetation	Failed - Second Notice Mailed
- 2 nd St	Tree limbs overhanging or touching the roof	Closed - CBO
- 24696 2 nd St	Overgrown vegetation	Closed - CBO
- Fairview Ave	Overgrown vegetation	Closed - CBO
- 2468 Hidden Ln	Overgrown vegetation	Closed - CBO

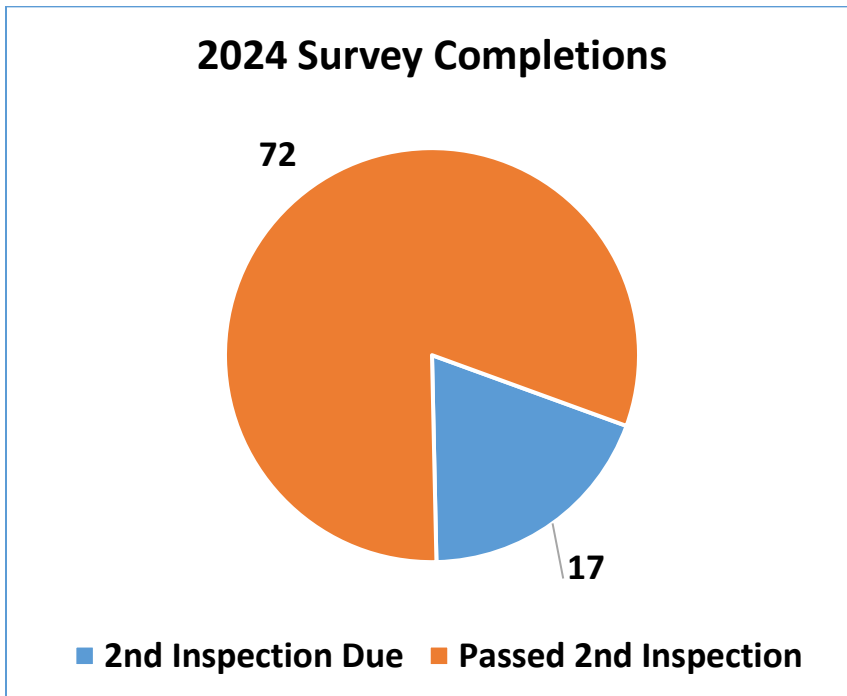
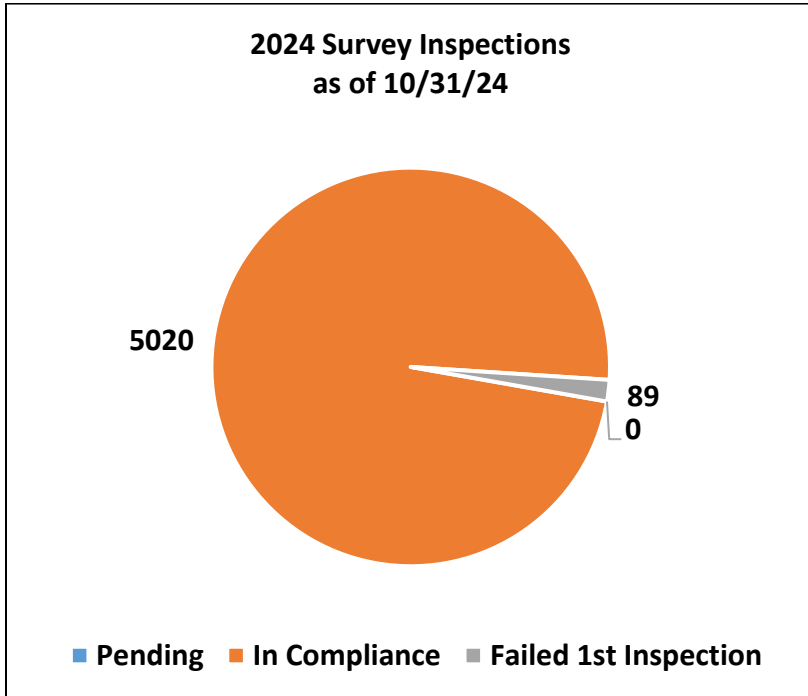
Respectfully,

Miles Massone
Fire Marshal



FFPD Vegetation Management and Abatement Update November 18, 2024, Meeting

Annual Survey Update as of 10/31/24.





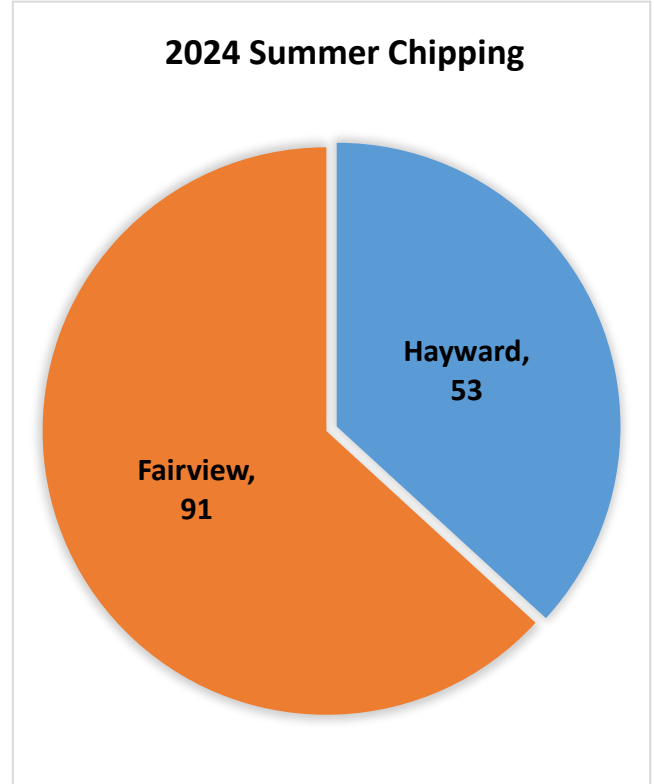
2024 Chipping and RAP Program

Our no-cost 2024 Residential Chipping Program is done. We scheduled chipping for 7 weeks in the Summer and 5 weeks in the Fall.

2024 Homes Chipped	Total
Completed in Fairview	91
Completed in Hayward	53
Total Homes Scheduled	144

Avg cost per home		Funded by	
FFPD	\$ 33,580.39	PGE	\$ 44,777.00
COH	\$ 18,691.61	FFPD	\$ 7,495.00
Total	\$ 52,272.00	Total	\$ 52,272.00

Expense Totals	
\$ 16,223.00	RAP Total
\$ 52,272.00	Chipping Total
\$ 68,495.00	Total Cost
\$ 61,000.00	PGE Funded
\$ 7,495.00	FFPD Funded



RAP Applications Received

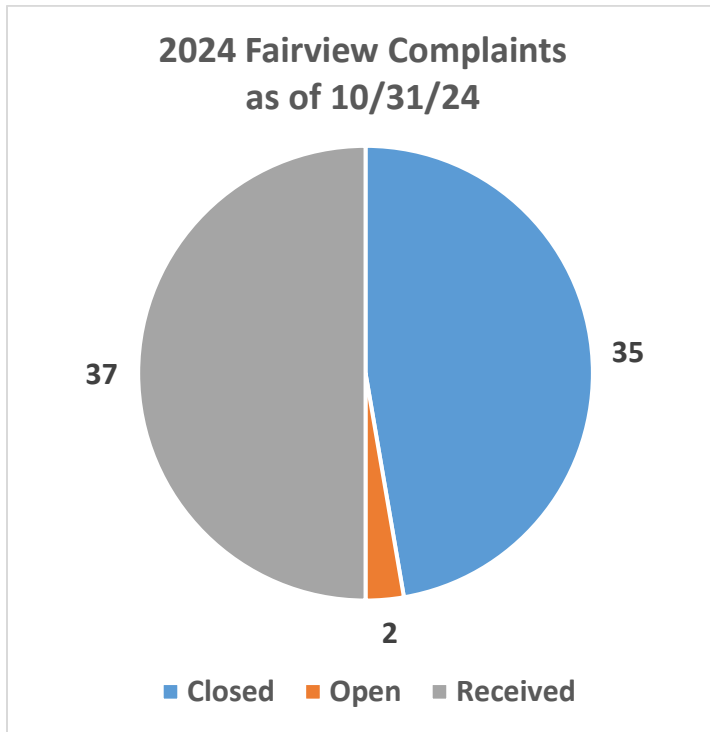
We received a total of five RAP applications from Fairview property owners, four were approved for the program. One did not qualify for the low-income requirement.

Address	Scope of Work	Estimate	Low Inc.	Sr.	Dis.
Lauren Pl	Trim the Pine Tree away from the house to give 10ft of clearance away from the house and roof line	\$1863.00	No	Yes	No
Fairview Ave	Cut down 3 dead trees, trim overgrown trees away from the roof, remove dead tree limbs and piles of leaves.	\$2,070.00	Yes	Yes	Yes
Clover Rd	Cut up the larger downed branches on the south side of property, put into pile. Cut down 4 small dead trees along the north side of the property.	\$9,315.00	Yes	Yes	No
Henry Ct	Cut / shred all dry vegetation under and around partially constructed wooden deck and follow downhill to wire fence line. Also clip /cut as much possible and remove to green waste garbage can all non-native black berry vines.	\$1,112.00	Yes	Yes	No
Total		\$ 14,360.00			



Vegetation Complaint Updates

September and October 2024 complaint status is listed in the FPO Bi-monthly activity report. Nothing of concern we need to report on yet.



7. FFPD FINANCIAL UPDATE

INFO/ACTION

PeopleSoft
 CASH BALANCES BY FUND

Report ID: FXGLA301
 Fiscal Year 2025
 Accounting Period 1 thru 1 --- Fund(s) Requested: All
 Fund: 43300 Fairview Fire District

<u>Journal Date</u>	<u>Journal ID</u>	<u>Jrnl Line Description</u>	<u>Beginning Balance</u>	<u>Receipts</u>	<u>Disbursements</u>	<u>Apportionment</u>	<u>Interfund Transfers</u>	<u>Ending Balance</u>
2024-07-01	0001025146	Cash in Treasury					201.81	8,131,868.50
2024-07-01	0001025147	Cash in Treasury				3,255.00		8,135,123.50
2024-07-01	0001025148	Cash in Treasury				47.20		8,135,170.70
2024-07-01	0001025156	Cash in Treasury				100.91		8,135,271.61
2024-07-01	0001025158	Cash in Treasury				1,627.50		8,136,899.11
2024-07-01	0001025159	Cash in Treasury				23.60		8,136,922.71
2024-07-01	PRPP2414AR	Cash in Treasury				-3,504.01		8,133,418.70
2024-07-01	PRPP2415AR	Cash in Treasury				-1,752.01		8,131,666.69
2024-07-02	APP1025339					-1,959.99		8,129,706.70
2024-07-15	APP1027963					-9,525.69		8,120,181.01
2024-07-19	0001029759	Cash in Treasury				-201.81		8,119,979.20
2024-07-19	0001029761	Cash in Treasury				-3,302.20		8,116,677.00
2024-07-23	APP1029537					-4,666.00		8,112,011.00
2024-07-25	APP1029849					-592.83		8,111,418.17
Totals for Fund 43300			8,131,666.69	0.00	0.00	0.00	-20,248.52	8,111,418.17

PeopleSoft
 CASH BALANCES BY FUND

Report ID: FXGLA301
 Fiscal Year 2025
 Accounting Period 2 thru 2 --- Fund(s) Requested: All
 Fund: 43300 Fairview Fire District

<u>Journal Date</u>	<u>Journal ID</u>	<u>Jrnl Line Description</u>	<u>Beginning Balance</u>	<u>Receipts</u>	<u>Disbursements</u>	<u>Apportionment</u>	<u>Interfund Transfers</u>	<u>Ending Balance</u>
2024-08-09	APP1031647						-1,865.56	8,109,552.61
2024-08-13	APP1032054						-8,328.72	8,101,223.89
2024-08-15	0001032519	Cash in Treasury					10,230.46	8,111,454.35
2024-08-15	0001032527	Cash in Treasury					214,726.78	8,326,181.13
2024-08-15	APP1032416						-895.37	8,325,285.76
2024-08-16	0001033105	Cash in Treasury					-217.51	8,325,068.25
2024-08-16	0001033106	Cash in Treasury					-50.87	8,325,017.38
2024-08-16	0001033107	Cash in Treasury					-3,508.26	8,321,509.12
2024-08-19	APP1032710						-6,276.23	8,315,232.89
2024-08-30	APP1034167						-909.77	8,314,323.12
2024-08-31	UT00000001	Cash in Treasury					-21.82	8,314,301.30
Totals for Fund 43300			8,111,418.17	0.00	0.00	0.00	202,883.13	8,314,301.30

PeopleSoft
 CASH BALANCES BY FUND

Report ID: FXGLA301
 Fiscal Year 2025
 Accounting Period 3 thru 3 --- Fund(s) Requested: All
 Fund: 43300 Fairview Fire District

<u>Journal Date</u>	<u>Journal ID</u>	<u>Jrnl Line Description</u>	<u>Beginning Balance</u>	<u>Receipts</u>	<u>Disbursements</u>	<u>Apportionment</u>	<u>Interfund Transfers</u>	<u>Ending Balance</u>
2024-09-09	0001035109	Cash in Treasury					195,505.74	8,509,807.04
2024-09-13	0001036272	Cash in Treasury					-208.88	8,509,598.16
2024-09-13	0001036274	Cash in Treasury					-3,417.85	8,506,180.31
2024-09-17	APP1035987						-5,563.45	8,500,616.86
2024-09-25	APP1036954						-6,694.84	8,493,922.02
2024-09-30	ADB0000001	Cash in Treasury					106,812.24	8,600,734.26
2024-09-30	UT00000001	Cash in Treasury					-1.09	8,600,733.17
Totals for Fund 43300			8,314,301.30	0.00	0.00	0.00	286,431.87	8,600,733.17

FAIRVIEW FIRE PROTECTION DISTRICT

ACCOUNTANTS REPORT

SEPTEMBER 2024

#	PAYEE	DESCRIPTION	AMOUNT
24-022	Richard DiTiberio (8/29/2024 Inv.)	Landscape maintenance: Station #8 - Five Canyons - AUG 2024	\$ 400.00
24-023	Pacific Gas & Electric (7/19/24-08/20/24) Bill amt \$6,694.84	24200 Fairview:Electric Delivery & Generation-\$91.63;Gas-\$26.77 25862 Five Cny's:Electric Delivery&Genert'n \$6,453.56;Gas-\$140.43	6,694.84
24-024	Concise Bookkeeping Inv #20569)	Various Bookkeeping Services for August 2024	4,488.49
24-025	US Bank 8/06/2024 stmt.	Zoom:8/13-9/12/24 Standard Pro & Webinar svc. - \$75.94; Go-Daddy Digital Certification - \$99.99; Amazon- 2) Acid Batteries \$55.10; Google WorkSpace 8/1-8/31/2024 - \$43.20; PropertyRec Com (\$1;\$7;\$18;\$15=\$41.00); GovTeller Conv.Fee \$2.00 + Alameda Cnty Clerk - \$45.50	362.73
24-026	Pacific Printing - Inv # 52209	(2) Open House Banners	146.72
24-027	EBMUD #89626975356	24200 Fairview Ave. Water Svcs:7/10/24-9/09/2024	165.51

Expenditures - Page 1 Sub Total	\$ 12,258.29
Expenditures from Page 2 Sub Total	\$ -
TOTAL EXPENDITURES	\$ 12,258.29

RECEIPTS FROM

DESCRIPTION

TOTAL RECEIPTS	\$ -
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<u>SUMMARY</u>	
Directors Fees	\$ -
Total Bills	(12,258.29)
Total Receipts	\$ -
	\$ (12,258.29)

Submitted for approval by:
Barbara Charnley, Concise Bookkeeping
10/16/2024

FAIRVIEW FIRE PROTECTION DISTRICT

ACCOUNTANTS REPORT

SEPTEMBER 2024

#	PAYEE	DESCRIPTION	AMOUNT
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Expenditures Continued -

EXPENDITURES - page 2 \$ -

Operating Budget - Expenditures	Year to Date to 09/16/24	% to Date	FY 24/25 Adopted Final Budget
Director Fees and Expenses			
Director Fees for Board Attendance	900	18%	5,000
Director Expenses (i.e. mileage), ACSDA Meeting Host Refreshments	202	13%	1,500
Training for Board Members	-	0%	4,000
Supplies and Technology			
Office/Technology (Zoom, Gmail, Survey Monkey)/Event Supplies	553	10%	5,500
Newsletter	4,455	99%	4,500
Website	7,500	94%	8,000
Memberships			
Alameda County Env Health (CUPA)	-	0%	834
Cal Special Dist Assoc (Local Chapter)	-	0%	100
Payment to LAFCO	557	80%	700
Administration Services			
General Manager Services	-	0%	43,200
Legal Counsel & Recording Secretary	-	0%	43,200
Publicity and Legal Notices	392	13%	3,000
Bookkeeping Services	11,304	57%	20,000
Annual Audit	-	0%	12,000
Insurance	13,145	88%	15,000
Lease Payment to County	-	0%	15
Workers Compensation Insurance	4,431	111%	4,000
Alameda County Tax Admin Fee	-	0%	30,000
Facilities Services			
Alarm Systems	3,478	87%	4,000
Janitorial	-	0%	500
Fire Station 8 Road Repair	-	0%	-
Old Fire Station 8 Upkeep	-	0%	5,000
Utilities - East Bay MUD	166	17%	1,000
Utilities - PG&E	8,839	29%	30,000
Yard Service	1,600	33%	4,800
Programs and Events			
Disaster Preparedness Program	-	0%	7,500
Chipping Program	-	0%	15,000
Firewise Projects/Residential Assistance	-	0%	10,000
Weed Abatement Courtesy Notice	-	0%	5,000
Open House	147	0%	-
Strategic Plan	-	0%	-
Strategic Plan Postcard Mailing	-	0%	-
Red Flag Staffing	6,757	68%	10,000
District Election			
District Election	-	0%	-
Subtotal District Expenses	55,586	19%	293,349

Emergency Response Services	-	0%	3,363,581
Paramedic Services	-	0%	373,731
Subtotal Hayward Fire Contract	-	0%	3,737,312
Capital Commitment	Year to Date to 09/16/24	% to Date	FY 24/25 Adopted Final Budget
Apparatus Replacement	211,653	100%	211,653
Equipment Replacement	28,389	100%	28,389
Facility Capital Improvements	270,367	100%	270,367
Subtotal Capital Budget	510,409	100%	510,409
	Year to Date to 09/16/24	% to Date	FY 24/25 Adopted Final Budget
TOTAL OPERATING EXPENDITURES	565,995	12%	4,541,070
Revenues	Year to Date to 09/16/24		FY 24/25 Adopted Final Budget
Property Tax	-	0%	4,573,082
Interest	-	0%	124,310
EMS (ALS)	-	0%	30,601
Other Revenue			-
TOTAL REVENUES	-	0%	4,727,994
<i>ERAF Contribution = 21.89%</i>			

8. 2025 MEETING CALENDAR

INFO/ACTION

BREAK

9. BOARD APPROVAL TO FINALIZE AND ISSUE RFP FOR REPAVING PROJECT – THE GENERAL MANAGER WILL SEEK APPROVAL TO FINALIZE THE TECHNICAL SPECIFICATIONS AND OTHER DETAILS OF A REQUEST FOR PROPOSALS TO SEEK BIDS FOR A REPAVING PROJECT AT FIRE STATION 8, 25862 FIVE CANYONS PKWY, CASTRO VALLEY, CA AS FURTHER DETAILED AND DESCRIBED IN THE PACKET.

INFO/ACTION

BOARD OF DIRECTORS

MELISSA DIMIC
MICHAEL JUSTICE
SARAH CHOI
MARK MCDANIEL
BOB CLARK



FAIRVIEW

FIRE PROTECTION DISTRICT

(510) 583-4930

25862 FIVE CANYONS PKWY
CASTRO VALLEY, CA 94552

r

GENERAL MANAGER:

INTERIM FIRE CHIEF Eric Vollmer

MIKE PRESTON

WWW.FAIRVIEWFIREDISTRICT.ORG

To: FFPD Directors
From: General Manager
Re: Fire Station Road Repair Project

November 11,2024

Background.

The Board has directed the General Manager to proceed with the necessary work to put Fire Station Access Road Repaving Project out to bid. The following is an update on what has been done to date and what remains.

Update

1. Counsel has completed the bid packet materials.
2. The Geotechnical work has been completed.
3. Civil Engineering drawings will be completed in the next week.
4. Neighbors of the four parcels adjacent to us have been contacted and are reviewing proposed Agreement prepared by Counsel
5. When drawings are complete ACPW will have an opportunity to review.
6. Project summary from engineer.

The plans are proposing two options as described in the soils report.

Option 1 replacing the existing asphalt and base rock with new asphalt and base rock.

Option 2 is removing the existing asphalt only and cement treating the existing base rock and subgrade prior to the new asphalt.

Option 1 requires a concrete curb behind the existing rolled curb to prevent water from getting under new pavement. This may require work outside of the access easement and may require permission from the adjacent properties. Any damage to landscaping or irrigation will need to be restored.

Please see a summary below for the work shown on Sheets C1.0, C2.0 and C2.1.

On Sheet C1.0 Topo/Demo Sheet.

EQUAL OPPORTUNITY EMPLOYER

Option 1

Remove 16,720 sq ft existing asphalt and aggregate base rock.

Option 2

Remove 16,720 sq ft existing asphalt only.

Both options

Remove existing concrete driveway at west driveway out of fire station. Also remove existing concrete driveway at access to the southwest neighbor. Remove existing concrete ramp at ADA parking space and concrete curb and walkway in front of ADA parking space.

On Sheet C2.0 and C2.0.

Option 1

Driveway 11,230 sq ft 4" AC on 15" aggregate base rock

Parking 5,400 sq ft 3" AC on 10" aggregate base rock

New concrete curb behind existing rolled curb where adjacent to landscaping to prevent water getting under new pavement.

Option 2

At Driveway, 11,230 sq ft cement treat existing aggregate base and subgrade with 4" of asphalt

At Parking, 5,400 sq ft cement treat existing aggregate base and subgrade with 3" of asphalt

New concrete curb behind existing rolled curb not required.

Both options

New concrete ramp and concrete sidewalk at ADA parking space.

New concrete driveway at west driveway at fire station.

New concrete driveway at southwest neighbor.

Sheets C4.0 and C4.1

These sheets will show any required finish grade elevations.

Recommendation

Board authorize General Manager to finalize and issue RFP for repaving project.

IMPROVEMENT PLANS

25826 FIVE CANYONS PARKWAY

CASTRO VALLEY, CA

APN: 417-0289-008



VICINITY MAP

BASIS OF BEARINGS:

THE LINE IN FIVE CANYONS PARKWAY BETWEEN THE STANDARD ALAMEDA COUNTY MONUMENT FOUND EASTERLY OF ROUNDABOUT WHERE STAR RIDGE ROAD BECOMES FIVE CANYONS PARKWAY WAS TAKEN AS N36°20'16"E AS SHOWN ON TRACT MAP# 6814, FILED IN BOOK 277 OF MAPS, AT PAGES 79 AND 100, ALAMEDA COUNTY RECORDS.

VERTICAL DATUM / BENCHMARK:

THE SURVEY IS BASED ON THE NAVD88 VERTICAL DATUM, ESTABLISHED USING GPS MEASUREMENTS ON A SITE BENCHMARK HOLDING THE ELEVATION OF 873.44 ON A (60D NAIL) LOCATED IN THE DIRT APPROXIMATELY 33 FEET FROM THE SOUTHWESTERN CORNER OF LOT 201 OF TRACT MAP#6814, AND SHOWN ON THIS MAP.

TITLE REPORT NOTE:

AS OF THE DATE OF THIS SURVEY A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN PROVIDED TO THE SURVEYOR FOR EXAMINATION. THEREFORE, THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES ON OR APPURTENANT TO THE SURVEYED PROPERTY THAT EXIST OF RECORD BUT ARE NOT DELINEATED HEREON.

UTILITIES NOTE:

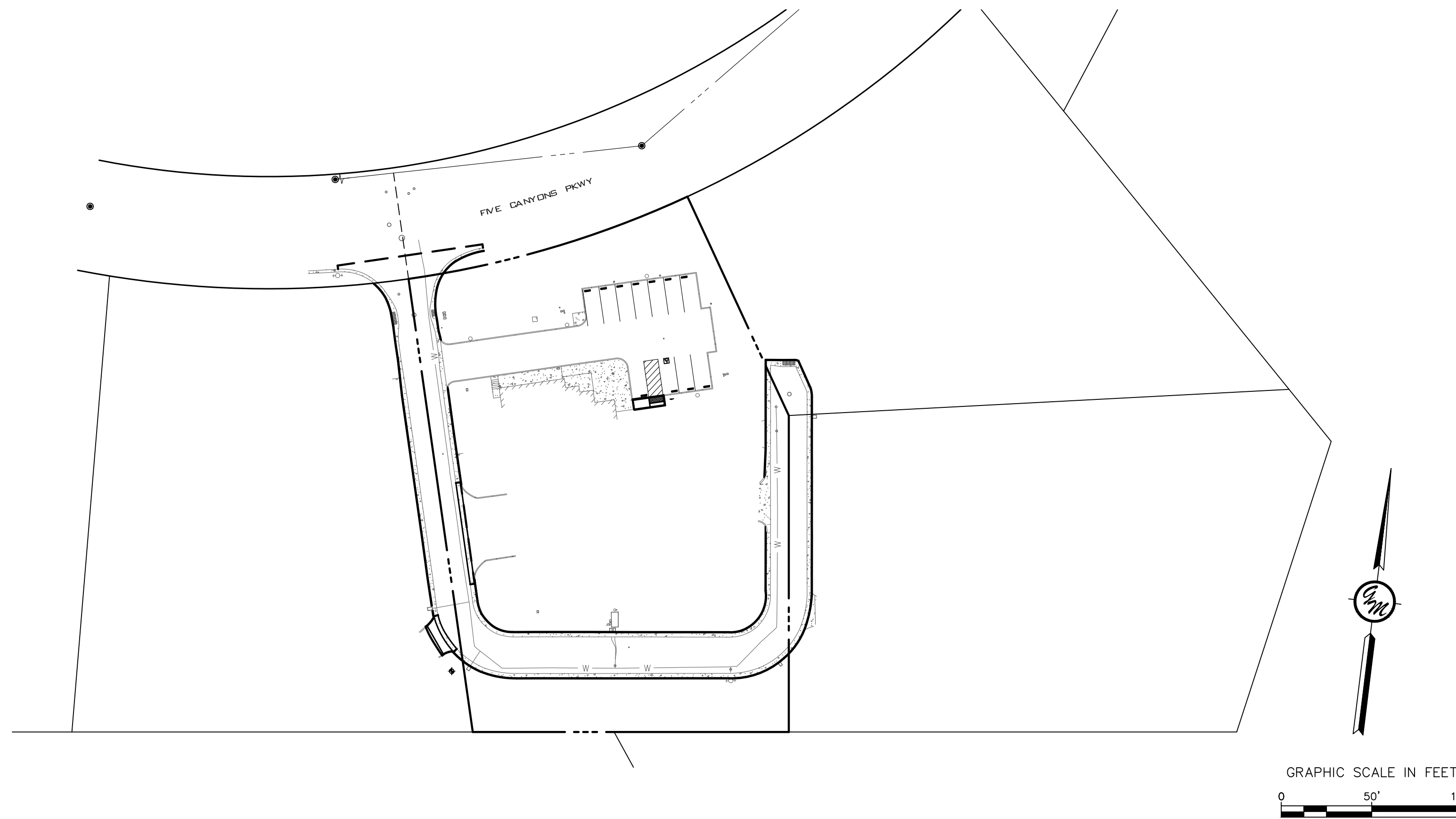
INFORMATION SHOWN ON THIS SURVEY REGARDING EXISTING UTILITIES IS APPROXIMATE ONLY, IS BASED ON VISUAL OBSERVATIONS AND/OR UTILITY COMPANY RECORDS, AND HAS NOT BEEN VERIFIED AS BEING COMPLETE OR CORRECT. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING UTILITY INFORMATION SHOWN HEREON, NOR FOR THE PRESENCE OF OTHER UTILITIES WHICH MAY EXIST BUT ARE NOT SHOWN ON THIS SURVEY.

REFERENCES:

- (1) --- GRANT DEED, DOC# 98166385, RECORDED MAY 19, 1998, ALAMEDA COUNTY RECORDS.
- (2) --- TRACT MAP #6817, RANCHO SAN LORENZO, IN BOOK 227 OF MAPS PAGES 79 THUR 100, RECORDED FEBRUARY 10, 1997, ALAMEDA COUNTY RECORDS.
- (3) --- CERTIFICATE OF CORRECTION, DOC# 97137926, RECORDED JUNE 4, 1997, ALAMEDA COUNTY RECORDS.
- (4) --- CERTIFICATE OF CORRECTION, DOC# 97174699, RECORDED JULY 15, 1997, ALAMEDA COUNTY RECORDS.

BOUNDARY NOTE:

ALL BEARINGS AND DISTANCES SHOWN ARE COMPILED OR CALCULATED FROM RECORD INFORMATION AS SHOWN ON TRACT MAP# 6814, RECORDS OF ALAMEDA COUNTY, CA., AND ARE NOT INTENDED TO REPRESENT FINAL SURVEYED VALUES.



SITE

MUNICIPALITY STAMPS

ENGINEER:
GREENWOOD & MOORE, INC.
JEFFERY MOORE
3111 CASTRO VALLEY BLVD,
CASTRO VALLEY, CA 94546
(510) 581-2772

OWNER/APPLICANT:
FAIRVIEW FIRE PROTECTION DISTRICT
MIKE PRESTON
25826 FIVE CANYONS PARKWAY,
CASTRO VALLEY, CA 94552

PROPERTY ADDRESS:
25826 FIVE CANYONS PARKWAY,
CASTRO VALLEY, CA 94552

ASSESSOR'S PARCEL NO.:
APN: 417-0289-008

PROJECT INFORMATION

SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C0.2	LEGEND & ABBREVIATIONS
C1.0	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C2.0	SITE PLAN
C2.1	SITE PLAN
C4.0	GRADING PLAN
C4.1	GRADING PLAN
C4.2	SECTIONS
C6.0	EROSION CONTROL PLAN
C7.0	DETAILS
C7.1	EROSION CONTROL DETAILS
C7.2	ACCESSIBILITY DETAILS
C7.3	ACCESSIBILITY DETAILS



FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

COVER SHEET

CHECKED BY:	
DRAWN BY:	TRL
SCALE:	1"=20'
DATE:	11-08-2024
PROJECT NO.:	2024.054
PHASE NO.:	XX
SHEET NO.:	

C0.0

SHEET INDEX



TOPOGRAPHIC SURVEY &
BENCHMARK INFORMATION

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AB	AGGREGATE BASE	FL	FLOWLINE	UNO	UNLESS NOTED OTHERWISE
ABAG	ASSOCIATION OF BAY AREA GOVERNMENTS	FS	FINISH SURFACE	USD	UNION SANITARY DISTRICT
ABS	ACRYLONITRILE BUTADIENE STYRENE	G	GAS MAIN	VAR	VARIABLES
AC	ASPHALTIC CONCRETE	GAS V	GAS VALVE	VC	VERTICAL CURVE
ACWD	ALAMEDA COUNTY WATER DISTRICT	GB	GRADE BREAK	VCP	VITRIFIED CLAY PIPE
AD	AREA DRAIN	GM	GAS METER	VERT	VERTICAL
ADA	AMERICAN DISABILITIES ACT	GR	GRATE ELEVATION	VIF	VERIFY IN FIELD
AE	ACCESS EASEMENT	GV	GATE VALVE	W	WATER
AL	AREA LIGHT	G&M	GREENWOOD&MOORE	W/	WITH
ANC	ANCHOR	HC	HANDICAP	W/O	WITHOUT
ANG PT	ANGLE POINT	HGL	HYDRAULIC GRADE LINE	WM	WATER METER
AP	ANCHOR POLE	HOR	HORIZONTAL	WV	WATER VALVE
ARV	AIR RELIEF VALVE	HP	HIGH POINT	YL	YARD LIGHT
ASB	AGGREGATE SUB-BASE	INT	INTERSECTION		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	INV	INVERT ELEVATION		
BC	BEGINNING OF CURVE	ISA	INTERNATIONAL SYMBOL OF ACCESSIBILITY		
BLDG	BUILDING	JP	JOINT POLE		
BOC	BACK OF CURB	JT	JOINT TRENCH		
BOW	BACK OF SIDEWALK	L	LENGTH		
BM	BENCH MARK	LAT	SEWER LATERAL		
BO	BLOWOFF	LBS	POUND		
BPD	BACKFLOW PREVENTION DEVICE	LF	LENGTH IN FEET		
BVC	BEGINNING OF VERTICAL CURVE	LP	LOW POINT		
BVCE	BEGINNING OF VERTICAL CURB ELEVATION	LS	LENGTH IN FEET		
BVCS	BEGINNING OF VERTICAL CURB STATION	LT	LEFT		
BW	BOTTOM OF WALL	MAX	MAXIMUM		
CATV	CABLE TELEVISION	MH	MANHOLE		
C&G	CURB AND GUTTER	MIN	MINIMUM		
CB	CATCH BASIN	MON	MONUMENT		
CCCS	CENTRAL CONTRA COSTA SANITARY DISTRICT	(N)	NEW		
CFS	CUBIC FEET PER SECOND	NTS	NOT TO SCALE		
CIP	CAST IRON PIPE	OC	ON CENTER		
CL	CENTERLINE	OD	OUTSIDE DIAMETER		
CL II	CLASS 2	P	PAVEMENT		
CLR	CLEAR	PCC	PORTLAND CONCRETE CEMENT		
CMP	CORRUGATED METAL PIPE	PCF	PER SQUARE FOOT		
CO	CLEANOUT	PG&E	PACIFIC GAS & ELECTRIC COMPANY		
CONF	CONFORM	PI	POINT OF INTERSECTION		
CONC	CONCRETE	PIV	POST INDICATOR VALVE		
COTG	CLEANOUT TO GRADE	POC	POINT OF CURVE		
CVSAN	CASTRO VALLEY SANITARY	PRC	POINT OF REVERSE CURVATURE		
CY	CUBIC YARDS	PSDE	PRIVATE STORM DRAIN EASEMENT		
DI	DROP INLET/DRAIN INLET	PSI	POUND PER SQUARE INCH		
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE		
DMA	DRAINAGE MANAGEMENT AREA	PT	POINT OF TANGENCY		
DWG	DRAWING	PUE	PUBLIC UTILITY EASEMENT		
DWY	DRIVEWAY	PV	PAVEMENT		
(E)	EXISTING	PVC	POLY VINYL CHLORIDE		
EA	EACH	PVI	POINT OF VERTICAL INTERSECTION		
EBMUD	EAST BAY MUNICIPALITY DISTRICT	R	RADIUS		
EC	END OF CURVE	(R)	RADIAL LINE		
EG	EXISTING GRADE	RL	RIDGE LINE		
ELEC	ELECTRIC	RCP	REINFORCED CONCRETE PIPE		
ELECTRO	ELECTROLIER	RIM	RIM ELEVATION		
ELEV	ELEVATION	RT	RIGHT		
EP	EDGE OF PAVEMENT	ROW	RIGHT OF WAY		
EQ	EQUAL DISTANCE	S	SLOPE		
EV	ELECTRIC VEHICLE	SD	STORM DRAIN		
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	SDCO	STORM DRAIN CLEANOUT		
EVC	END OF VERTICAL CURVE	SDE	STORM DRAIN EASEMENT		
EVCE	END OF VERTICAL CURB ELEVATION	SDMH	STORM DRAIN MANHOLE		
EVCS	END OF VERTICAL CURB ELEVATION	SF	SQUARE FEET		
EW	EACH WAY	SHT	SHEET		
FM	FORCE MAIN	SIM	SIMILAR		
FC	FACE OF CURB	SL	STREET LIGHT		
FDC	FIRE DEPARTMENT CONNECTION	SS	SANITARY SEWER		
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEANOUT/RISER		
FG	FINISH GRADE	SSMH	SANITARY SEWER MANHOLE		
FH	FIRE HYDRANT	STA	STATION		
FI	FIELD INLET	STD	STANDARD		
		SW	SIDEWALK		
		SWC	STORM UNDER CONTROL		
		T	TELEPHONE LINE		
		TBO	TEMPORARY BLOWOFF		
		TC	TOP OF CURB		
		TCM	TREATMENT CONTROL MEASURE		
		TELE	TELEPHONE		
		TH	THRESHOLD		
		TS	TRAFFIC SIGNAL		
		TW	TOP OF WALL		
		TYP	TYPICAL		

ABBREVIATIONS

PROPOSED	EXISTING	DESCRIPTION
		AREA DRAIN
		AREA LIGHT
		BENCHMARK
		BLOWOFF
		BUILDING
		CABLE TV
		CLEANOUT
		CONCRETE
		CURB
		CURB & GUTTER
		CURB, GUTTER & SIDEWALK
		CURB INLET
		CUT/FILL LINE
		DAYLIGHT LINE
		DETECTABLE WARNING
		DRAIN INLET
		ELECTRIC LINE
		ELECTROLIER
		FDC
		FENCE
		FIRE HYDRANT
		FIRE MAIN
		GAS MAIN/SERVICE
		GAS VALVE
		GAS METER
		GUY ANCHOR
		ACCESSIBLE SPACE
		JOINT TRENCH
		MONUMENT
		OVERLAND RELEASE
		RIDGE LINE
		SANITARY SEWER CLEANOUT
		SANITARY SEWER LINE
		SAWCUT LINE
		SIGN
		SLOPE
		STORM DRAIN MANHOLE
		STORM DRAIN LINE
		SANITARY SEWER MANHOLE
		SWALE
		TELEPHONE LINE
		TRAFFIC SIGNAL
		TRANSFORMER
		TREE
		JOINT POLE
		VALLEY GUTTER
		WALL
		WATER MAIN
		WATER METER

LEGEND

GREENWOOD & MOORE, INC.
 Civil Engineers • Designers
 Land Surveyors • Planners

3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546
 Tel: 510-581-2772 Fax: 510-581-6913 www.greenwoodmore.com

REGISTERED PROFESSIONAL ENGINEER
 JEFFREY R. MOORE
 No. C042628
 Exp. 03/31/2026
 CIVIL
 STATE OF CALIFORNIA

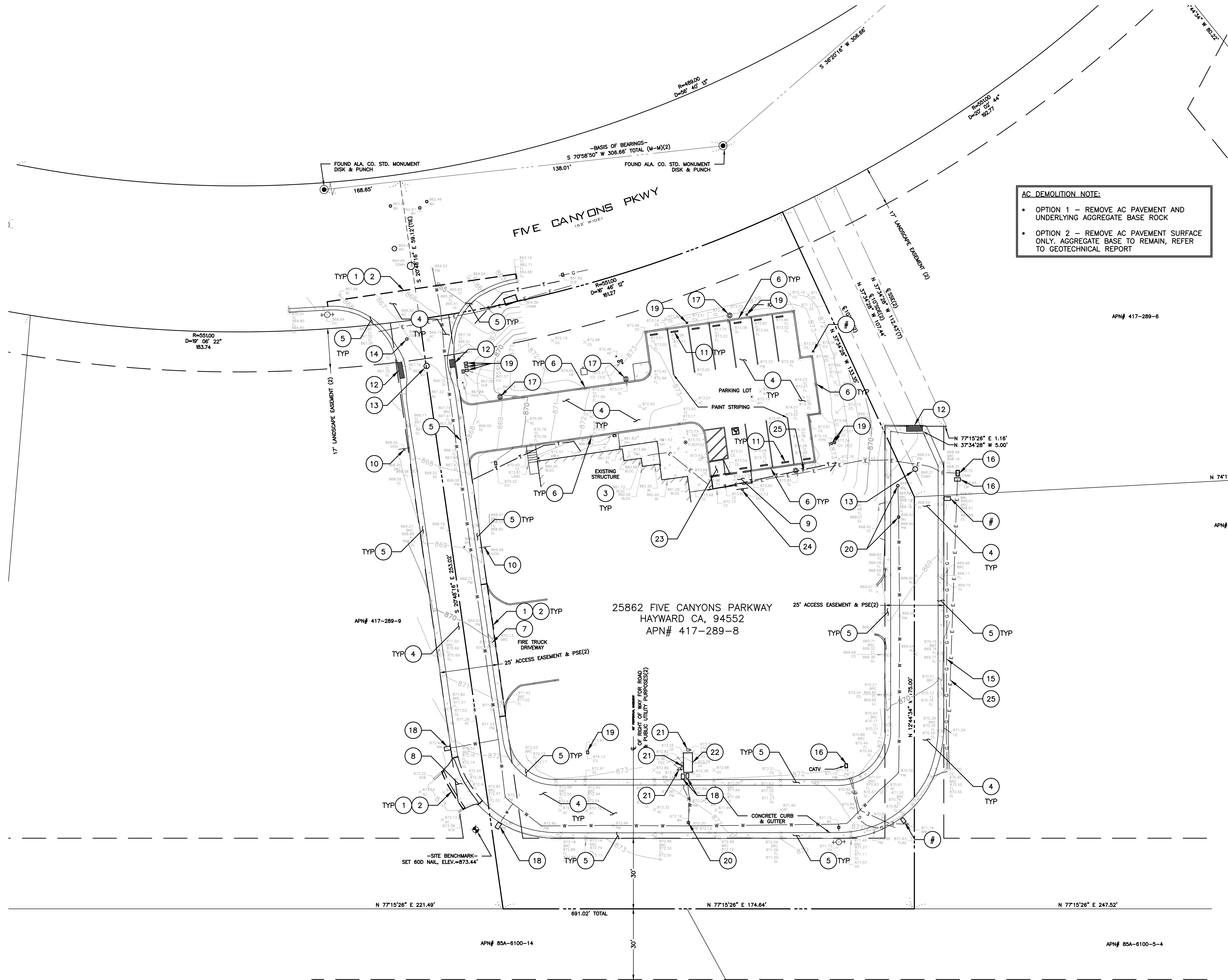
FAIRVIEW FIRE
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APN: 417-0289-008

LEGEND & ABBREVIATIONS

CHECKED BY:
 DRAWN BY: **TRL**
 SCALE: **1"=20'**
 DATE: **11-08-2024**
 PROJECT NO.: **2024.054**
 PHASE NO.: **XX**
 SHEET NO.:

C0.2

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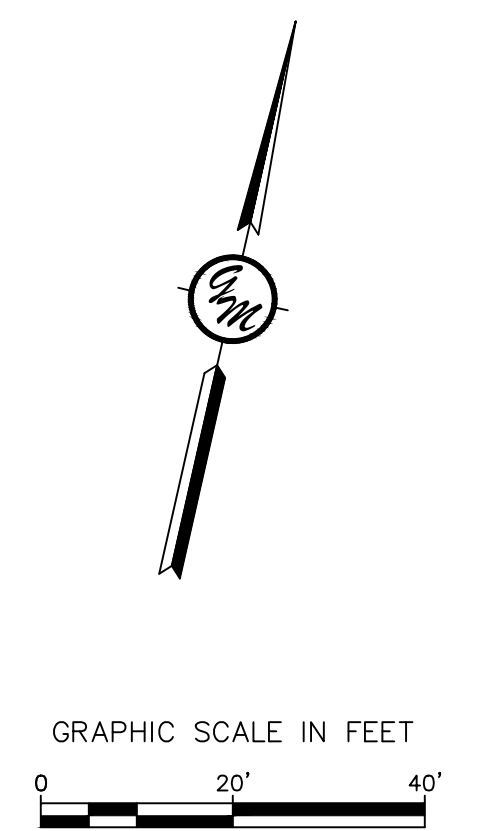
AC DEMOLITION NOTE:

- OPTION 1 - REMOVE AC PAVEMENT AND UNDERLYING AGGREGATE BASE ROCK
- OPTION 2 - REMOVE AC PAVEMENT SURFACE ONLY. AGGREGATE BASE TO REMAIN, REFER TO GEOTECHNICAL REPORT

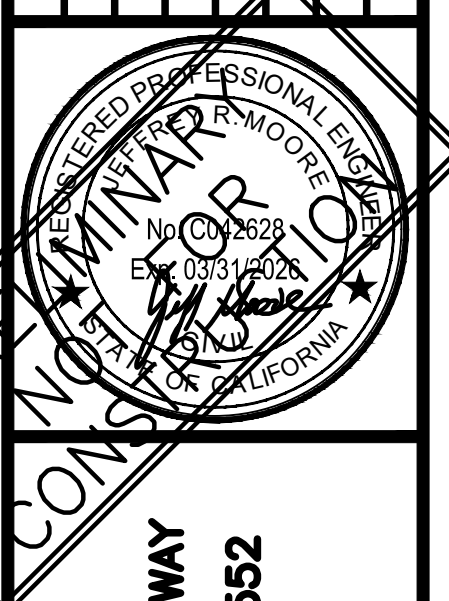
- DEMOLITION KEYNOTES: #**
- LIMIT OF REMOVAL
 - SAWCUT LINE, CONFORM TO (E) GRADE PER DETAIL X/C7.0
 - (E) FIRE STATION TO REMAIN
 - (E) AC PAVEMENT TO BE REMOVED. COORDINATE WITH CLIENT FOR PREFERRED DESIGN OPTION. REFER TO AC DEMOLITION NOTE AND THE RECOMMENDATIONS IN GEOTECHNICAL REPORT
 - (E) CONCRETE CURB AND GUTTER TO REMAIN AND BE PROTECTED IN PLACE
 - (E) CONCRETE CURB TO REMAIN AND BE PROTECTED IN PLACE
 - (E) CONCRETE CURB AND/OR GUTTER TO BE REMOVED TO NEAREST COLD JOINT
 - (E) CONCRETE DRIVEWAY TO BE REMOVED
 - (E) CONCRETE RAMP TO BE REMOVED
 - (E) SIGN TO REMAIN AND BE PROTECTED
 - (E) WHEEL STOP TO BE SALVAGED AND REUSED WHERE FEASIBLE, COORDINATE WITH OWNER
 - (E) CATCH BASIN AND ASSOCIATED STORM DRAINLINE TO REMAIN AND BE PROTECTED IN PLACE
 - (E) MANHOLE TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO ADJUST RIM TO NEW FINISHED SURFACE ELEVATION
 - (E) SANITARY SEWER CLEANOUT TO REMAIN AND BE PROTECTED. ADJUST RIM TO NEW FINISHED SURFACE ELEVATION
 - (E) GAS LINE TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO POTHOLE TO CONFIRM LOCATION AND DEPTH PRIOR TO START OF CONSTRUCTION ACTIVITIES
 - (E) ELECTRIC UTILITY BOX AND ASSOCIATED POWER LINE TO REMAIN AND BE PROTECTED IN PLACE
 - (E) LIGHTPOLE POLE AND ASSOCIATED BURIED POWER LINE TO REMAIN AND BE PROTECTED
 - (E) WATER METER AND ASSOCIATED SERVICE LATERAL TO REMAIN AND BE PROTECTED IN PLACE
 - (E) IRRIGATION CONTROL VALVE AND ASSOCIATED WATER LINE TO REMAIN AND BE PROTECTED IN PLACE
 - (E) WATER VALVE TO REMAIN AND BE PROTECTED IN PLACE. CONTRACTOR TO ADJUST RIM TO NEW FINISHED SURFACE ELEVATION
 - (E) FIRE DEPARTMENT CONNECTION AND ASSOCIATED FIRE WATER LINE TO REMAIN AND BE PROTECTED IN PLACE
 - (E) UTILITY BOX TO REMAIN AND BE PROTECTED IN PLACE
 - REMOVE (E) CONCRETE RAMP
 - RELOCATED (E) ADA PARKING SIGN
 - (E) ELECTRICAL LINE TO REMAIN. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION.

(E) TREE TO REMAIN AND BE PROTECTED IN PLACE DURING CONSTRUCTION

UTILITY NOTE: CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES TO FIELD VERIFY THE LOCATION AND DEPTH PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES



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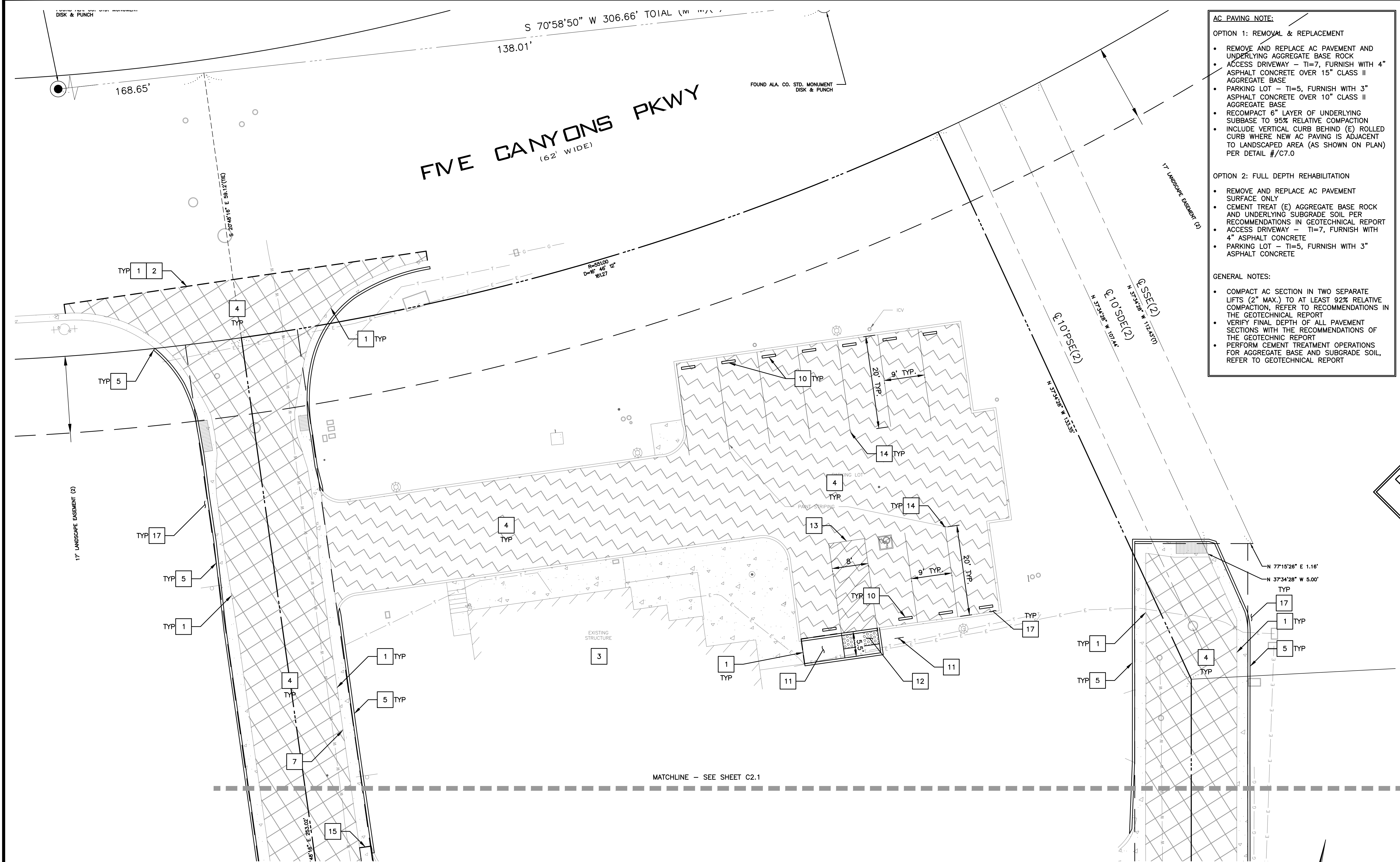


FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

TOPOGRAPHIC SURVEY & DEMOLITION PLAN

CHECKED BY:	
DRAWN BY:	TRL
SCALE:	1"=20'
DATE:	11-08-2024
PROJECT NO.:	2024.054
PHASE NO.:	XX
SHEET NO.:	C1.0

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AC PAVING NOTE:

OPTION 1: REMOVAL & REPLACEMENT

- REMOVE AND REPLACE AC PAVEMENT AND UNDERLYING AGGREGATE BASE ROCK
- ACCESS DRIVEWAY - TI=7, FURNISH WITH 4" ASPHALT CONCRETE OVER 15" CLASS II AGGREGATE BASE
- PARKING LOT - TI=5, FURNISH WITH 3" ASPHALT CONCRETE OVER 10" CLASS II AGGREGATE BASE
- RECOMPACT 6" LAYER OF UNDERLYING SUBBASE TO 95% RELATIVE COMPACTION
- INCLUDE VERTICAL CURB BEHIND (E) ROLLED CURB WHERE NEW AC PAVING IS ADJACENT TO LANDSCAPED AREA (AS SHOWN ON PLAN) PER DETAIL #/C7.0

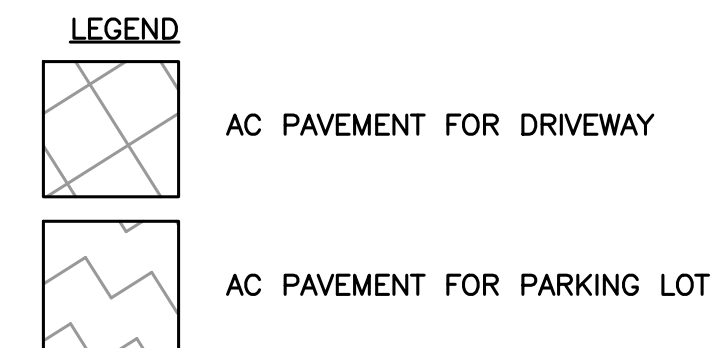
OPTION 2: FULL DEPTH REHABILITATION

- REMOVE AND REPLACE AC PAVEMENT SURFACE ONLY
- CEMENT TREAT (E) AGGREGATE BASE ROCK AND UNDERLYING SUBGRADE SOIL PER RECOMMENDATIONS IN GEOTECHNICAL REPORT
- ACCESS DRIVEWAY - TI=7, FURNISH WITH 4" ASPHALT CONCRETE
- PARKING LOT - TI=5, FURNISH WITH 3" ASPHALT CONCRETE

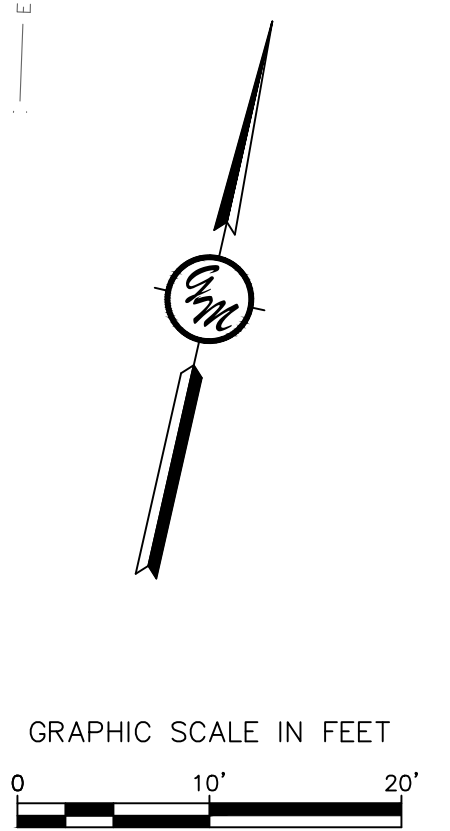
GENERAL NOTES:

- COMPACT AC SECTION IN TWO SEPARATE LIFTS (2" MAX.) TO AT LEAST 92% RELATIVE COMPACTION, REFER TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
- VERIFY FINAL DEPTH OF ALL PAVEMENT SECTIONS WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT
- PERFORM CEMENT TREATMENT OPERATIONS FOR AGGREGATE BASE AND SUBGRADE SOIL, REFER TO GEOTECHNICAL REPORT

- KEYNOTES:**
- CONFORM TO (E) ELEVATION
 - SAWCUT LINE, CONFORM TO (E) GRADE PER DETAIL 7/C7.0
 - (E) FIRE STATION TO REMAIN
 - (N) AC PAVEMENT. COORDINATE WITH CLIENT FOR PREFERRED DESIGN OPTION. REFER TO AC PAVING NOTE AND THE RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT
 - OPTION 1 ONLY: (N) CONCRETE VERTICAL CURB BEHIND (E) ROLLED CURB PER DETAIL 10/C7.0
 - (N) CONCRETE DRIVEWAY, PER DETAIL 3/C7.0, TYPE 2.
 - (N) DEPRESSED CURB AT (E) DRIVEWAY PER DETAIL X/C7.0
 - (N) CONCRETE CURB. TRANSITION FROM ROLLED CURB TO VERTICAL CURB PER X/C7.0.
 - 1'± (N) AC BERM PER DETAIL #/C7.0
 - LOCATION OF NEW OR SALVAGED WHEEL STOP. CONSTRUCT (N) WHEEL STOP PER DETAIL 6/C7.0
 - RELOCATED ADA VAN ACCESSIBLE PARKINGSPACE SIGN PER C7.3.
 - ADA CURB RAMP PER C7.2, CASE C.
 - VAN ACCESSIBLE PARKING STALL PER CALTRANS STANDARD DETAIL A90A, SEE SHEET C7.3
 - 4"-WIDE WHITE PARKING STRIPING
 - CONFORM TO (E) ROLLED CURB. PROVIDE 3' TRANSITION FROM ROLLED CURB TO DEPRESSED CURB
 - 12'± 6" FULL DEPTH AC AT CONFORM.
 - OBTAIN PERMISSION FROM ADJACENT PROPERTY OWNER FOR WORK OUTSIDE OF ACCESS EASEMENT. CONTRACTOR TO RESTORE/REPAIR LANDSCAPING AND IRRIGATION DAMAGED DURING CONSTRUCTION.



UTILITY NOTE: CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES TO FIELD VERIFY THE LOCATION AND DEPTH PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES



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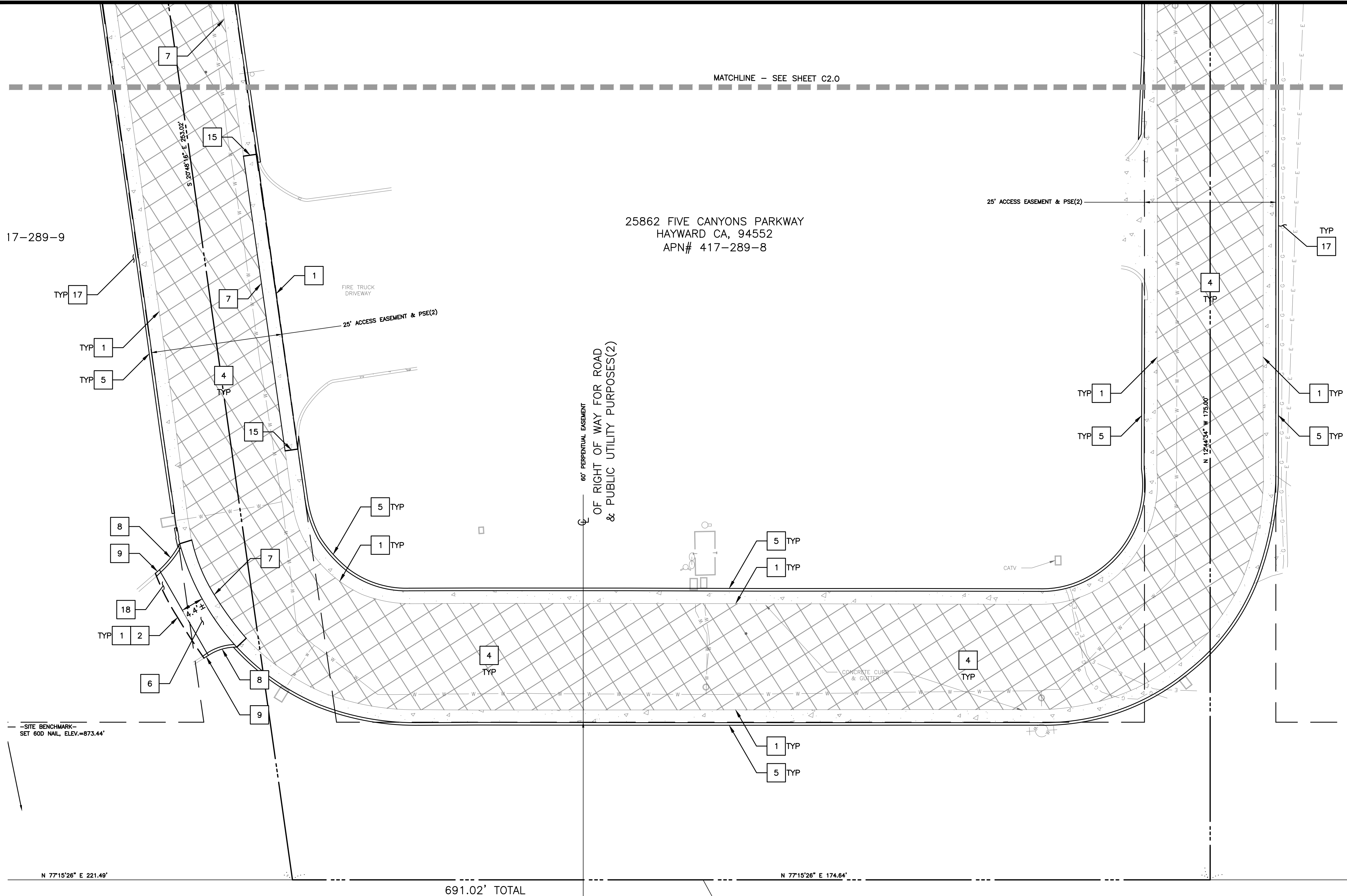


FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

SITE PLAN

CHECKED BY: _____
DRAWN BY: **TRL**
SCALE: **1"=10'**
DATE: **11-08-2024**
PROJECT NO.: **2024.054**
PHASE NO.: **XX**
SHEET NO.: **C2.0**

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- PARKING LOT - TI=5, FURNISH WITH 3" ASPHALT CONCRETE OVER 10" CLASS II AGGREGATE BASE
- RECOMPACT 6" LAYER OF UNDERLYING SUBBASE TO 95% RELATIVE COMPACTION
- INCLUDE VERTICAL CURB BEHIND (E) ROLLED CURB WHERE NEW AC PAVING IS ADJACENT TO LANDSCAPED AREA (AS SHOWN ON PLAN) PER DETAIL #/C7.0

OPTION 2: FULL DEPTH REHABILITATION

- REMOVE AND REPLACE AC PAVEMENT SURFACE ONLY
- CEMENT TREAT (E) AGGREGATE BASE ROCK AND UNDERLYING SUBGRADE SOIL PER RECOMMENDATIONS IN GEOTECHNICAL REPORT
- ACCESS DRIVEWAY - TI=7, FURNISH WITH 4" ASPHALT CONCRETE
- PARKING LOT - TI=5, FURNISH WITH 3" ASPHALT CONCRETE

GENERAL NOTES:

- COMPACT AC SECTION IN TWO SEPARATE LIFTS (2" MAX.) TO AT LEAST 92% RELATIVE COMPACTION. REFER TO RECOMMENDATIONS IN THE GEOTECHNICAL REPORT
- VERIFY FINAL DEPTH OF ALL PAVEMENT SECTIONS WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT
- PERFORM CEMENT TREATMENT OPERATIONS FOR AGGREGATE BASE AND SUBGRADE SOIL. REFER TO GEOTECHNICAL REPORT

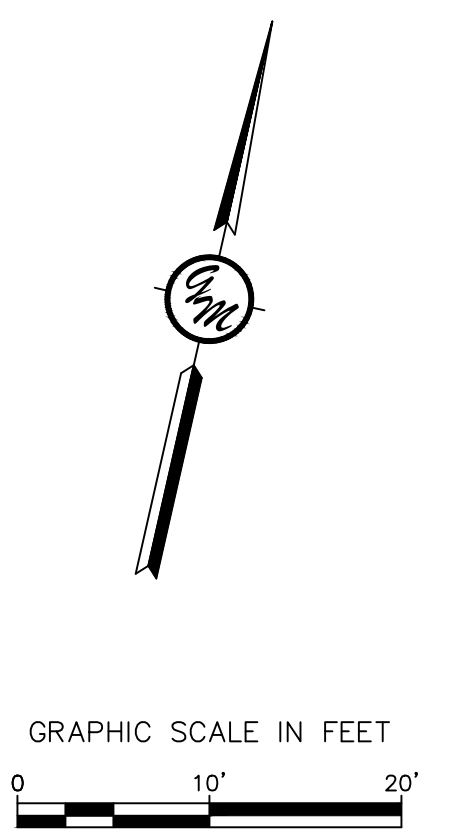
LEGEND

AC PAVEMENT FOR DRIVEWAY

AC PAVEMENT FOR PARKING LOT

UTILITY NOTE: CONTRACTOR TO POTHOLE ALL EXISTING UTILITIES TO FIELD VERIFY THE LOCATION AND DEPTH PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES

- KEYNOTES:**
- CONFORM TO (E) ELEVATION
 - SAWCUT LINE, CONFORM TO (E) GRADE PER DETAIL 7/C7.0
 - (E) FIRE STATION TO REMAIN
 - (N) AC PAVEMENT, COORDINATE WITH CLIENT FOR PREFERRED DESIGN OPTION. REFER TO AC PAVING NOTE AND THE RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT
 - OPTION 1 ONLY: (N) CONCRETE VERTICAL CURB BEHIND (E) ROLLED CURB PER DETAIL 10/C7.0
 - (N) CONCRETE DRIVEWAY, PER DETAIL 3/C7.0, TYPE 2.
 - (N) DEPRESSED CURB AT (E) DRIVEWAY PER DETAIL X/C7.0
 - (N) CONCRETE CURB. TRANSITION FROM ROLLED CURB TO VERTICAL CURB PER X/C7.0.
 - 1'± (N) AC BERM PER DETAIL #/C7.0
 - LOCATION OF NEW OR SALVAGED WHEEL STOP. CONSTRUCT (N) WHEEL STOP PER DETAIL 6/C7.0
 - RELOCATED ADA VAN ACCESSIBLE PARKINGSPACE SIGN PER C7.3.
 - ADA CURB RAMP PER C7.2, CASE C.
 - VAN ACCESSIBLE PARKING STALL PER CALTRANS STANDARD DETAIL A90A, SEE SHEET C7.3
 - 4"-WIDE WHITE PARKING STRIPING
 - CONFORM TO (E) ROLLED CURB. PROVIDE 3' TRANSITION FROM ROLLED CURB TO DEPRESSED CURB
 - 12"± 6" FULL DEPTH AC AT CONFORM.
 - OBTAIN PERMISSION FROM ADJACENT PROPERTY OWNER FOR WORK OUTSIDE OF ACCESS EASEMENT. CONTRACTOR TO RESTORE/REPAIR LANDSCAPING AND IRRIGATION DAMAGED DURING CONSTRUCTION.



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FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

SITE PLAN

CHECKED BY:

DRAWN BY: **TRL**

SCALE: **1"=10'**

DATE: **11-08-2024**

PROJECT NO.: **2024.054**

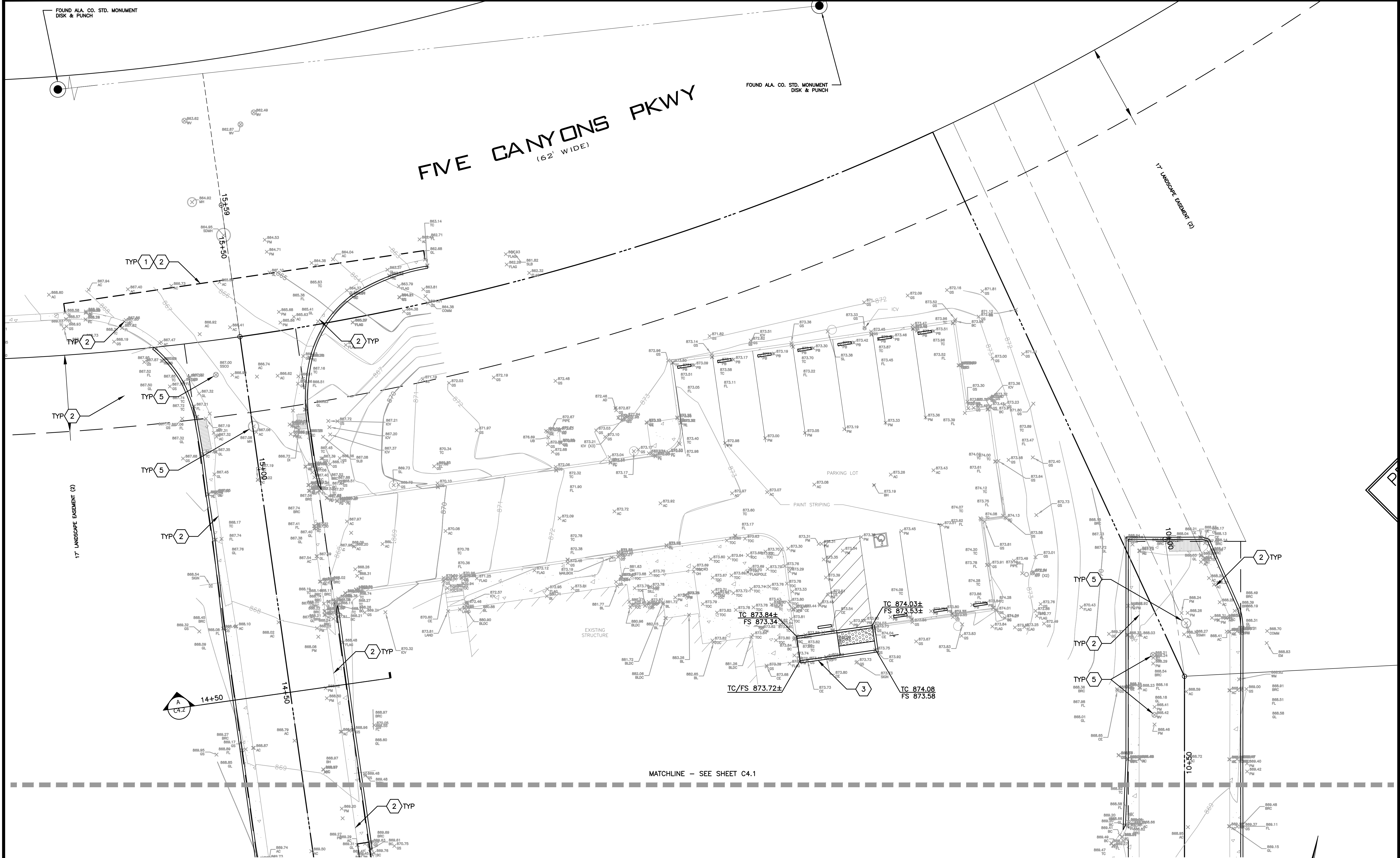
PHASE NO.: **XX**

SHEET NO.: **C2.1**

FIVE CANYONS PKWY (62' WIDE)

FOUND ALA. CO. STD. MONUMENT
DISK & PUNCH

17' LANDSCAPE EASEMENT (2)



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF THIS OFFICE AND WERE CREATED, DEVELOPED AND DISCLOSED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF GREENWOOD & MOORE, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. THIS OFFICE MUST BE NOTIFIED OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS OF APPROXIMATE SCALE MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION ON THE ITEMS SO NOTED.

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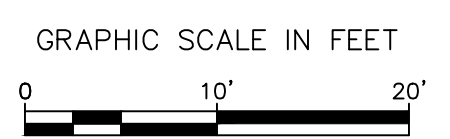
GRADING PLAN

CHECKED BY:
DRAWN BY: **TRL**
SCALE: **1"=10'**
DATE: **11-08-2024**
PROJECT NO.: **2024.054**
PHASE NO.: **XX**
SHEET NO.:

C4.0

- GRADING KEYNOTES: #
- CONFORM TO (E) FINISHED SURFACE ELEVATION AT SAWLINE CUT PER DETAIL 5/C7.0
 - (N) AC PAVING TO CONFORM TO (E) CURB AND GUTTER ELEVATION. FOR PAVEMENT SECTION DETAILS, REFER TO AC PAVING NOTE AND RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT
 - (N) ACCESSIBLE CONCRETE CURB RAMP PER CALTRANS STANDARD DETAIL A90A, SEE SHEET C7.3
 - (N) VALLEY GUTTER PER DETAIL 5/C7.0. FLOWLINE ELEVATION OF (N) VALLEY GUTTER TO MATCH FLOWLINE OF (E) ADJACENT ROLLED CURB
 - CONTRACTOR TO ADJUST RIM OF (E) UTILITY STRUCTURE TO FINISHED SURFACE ELEVATION AS NECESSARY

UTILITY NOTE: CONTRACTOR TO POT-HOLE ALL EXISTING UTILITIES TO FIELD VERIFY THE LOCATION AND DEPTH PRIOR TO START OF DEMOLITION AND/OR CONSTRUCTION ACTIVITIES



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APN# 417-289-9

MATCHLINE - SEE SHEET C4.0

25862 FIVE CANYONS PARKWAY
HAYWARD CA, 94552
APN# 417-289-8

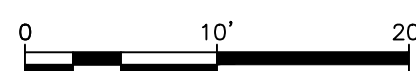
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GRADING KEYNOTES: #

- CONFORM TO (E) FINISHED SURFACE ELEVATION AT SAWLINE CUT PER DETAIL 5/C7.0
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GRAPHIC SCALE IN FEET



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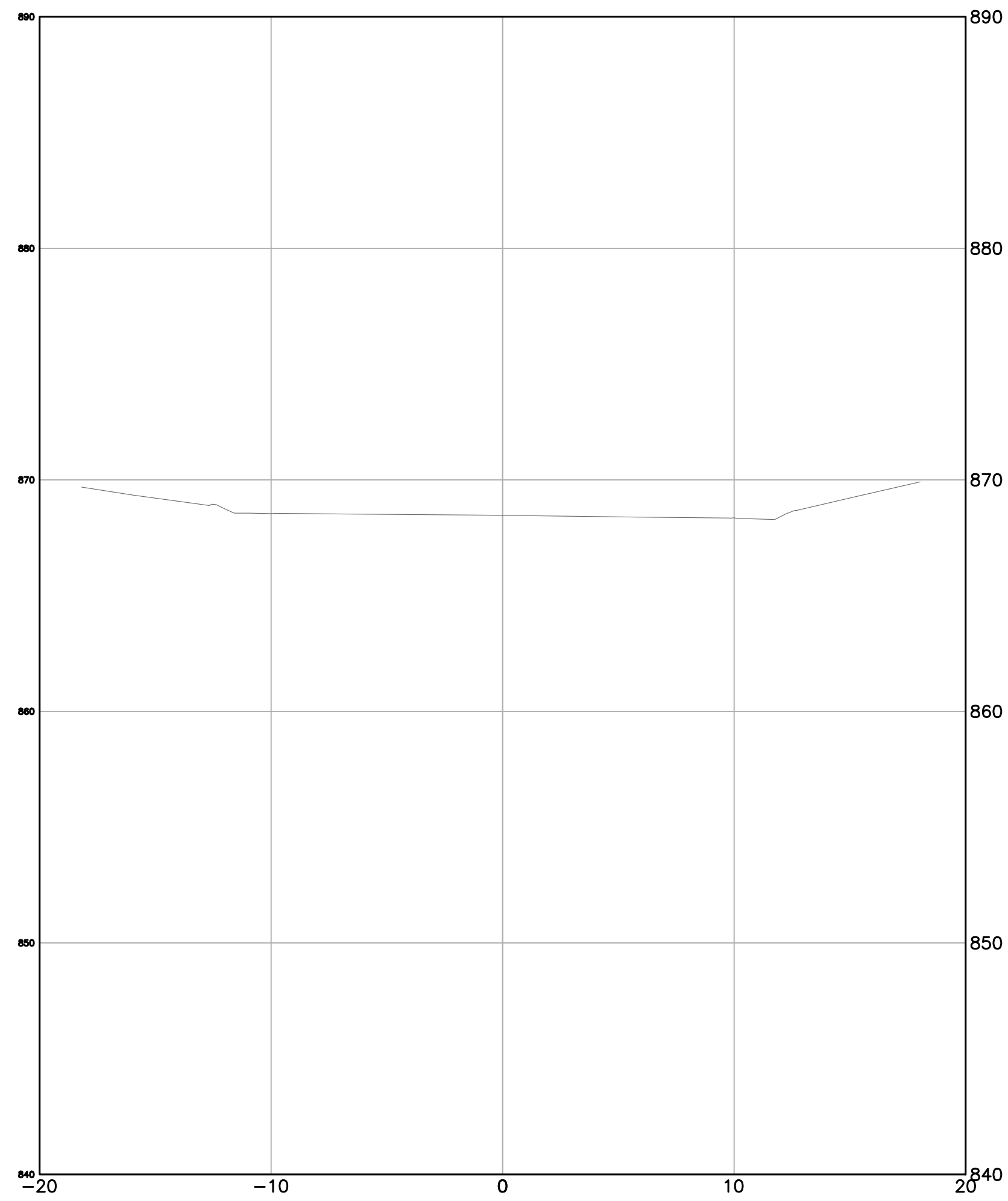
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FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
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APN: 417-0289-008

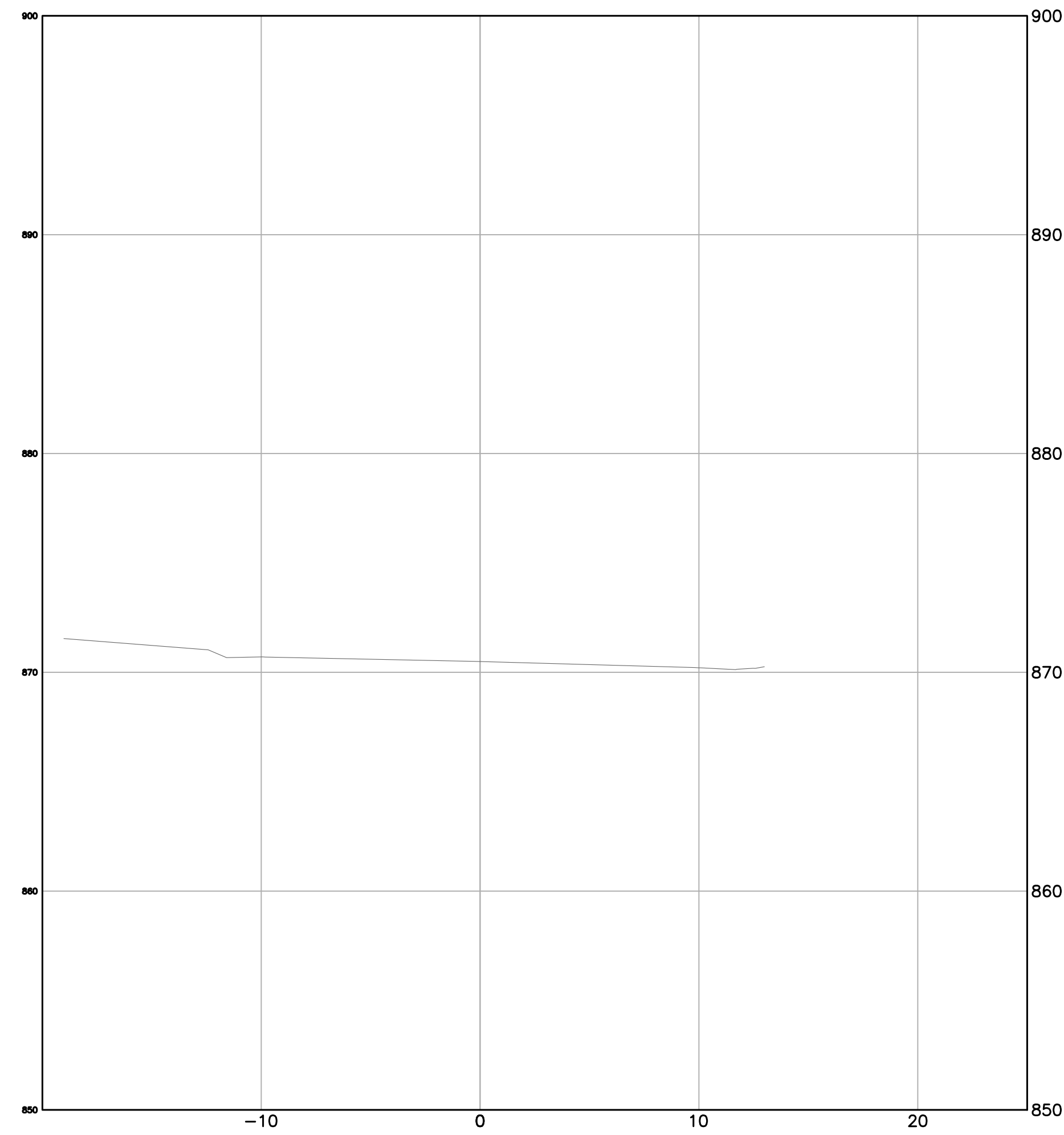
GRADING PLAN
CHECKED BY:
DRAWN BY: TRL
SCALE: 1"=10'
DATE: 11-08-2024
PROJECT NO.: 2024.054
PHASE NO.: XX
SHEET NO.: C4.1

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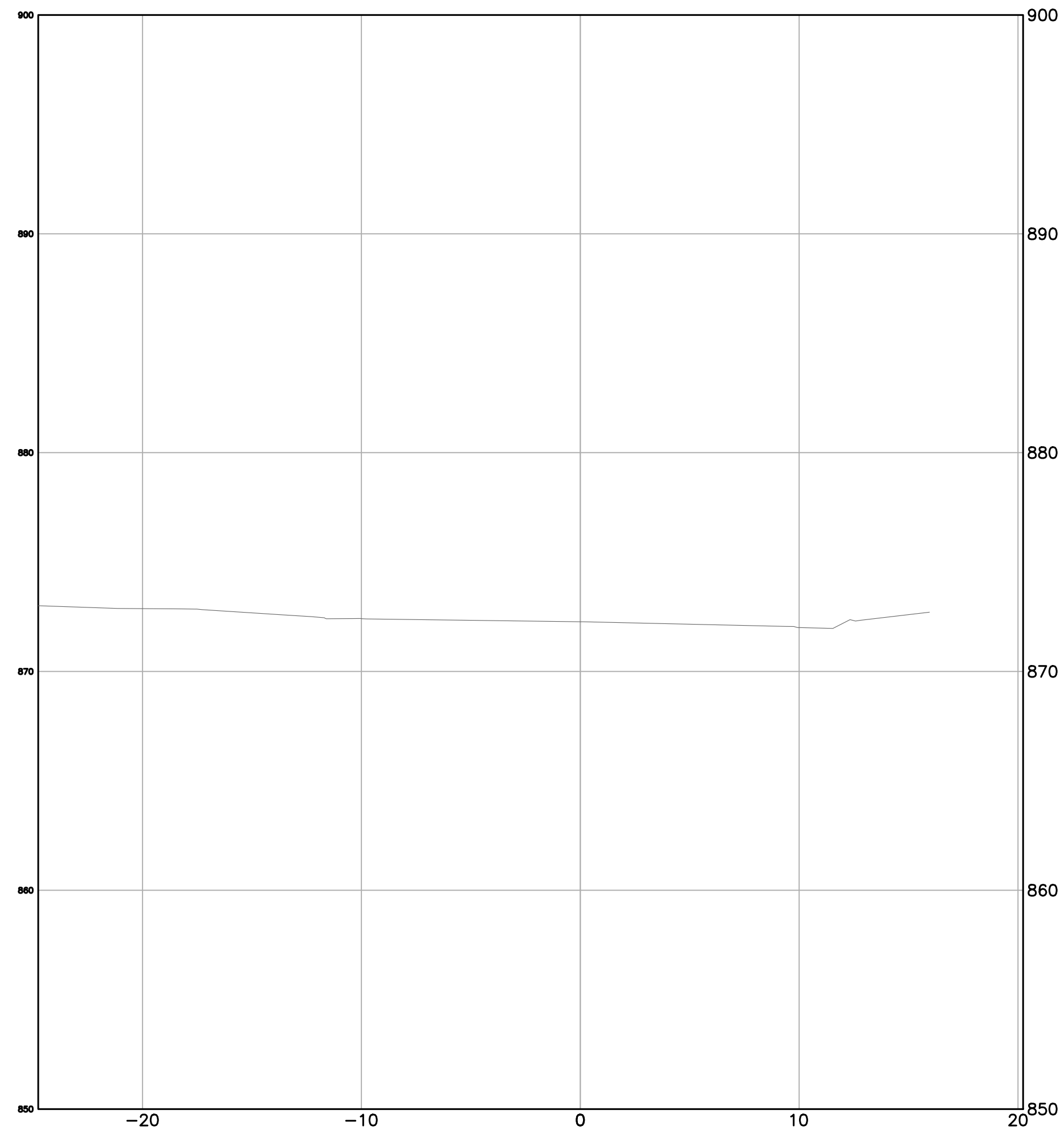
SECTION A

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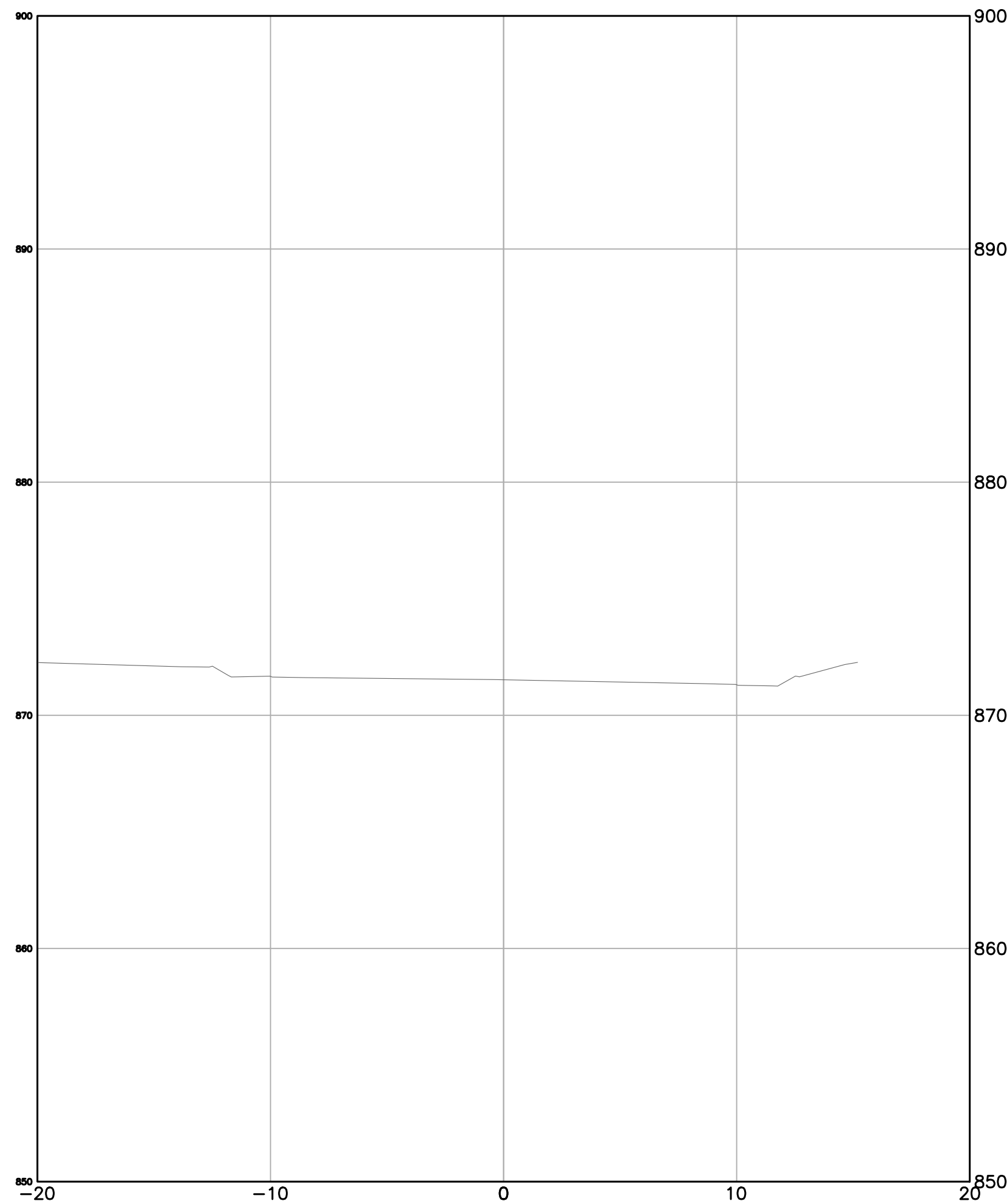
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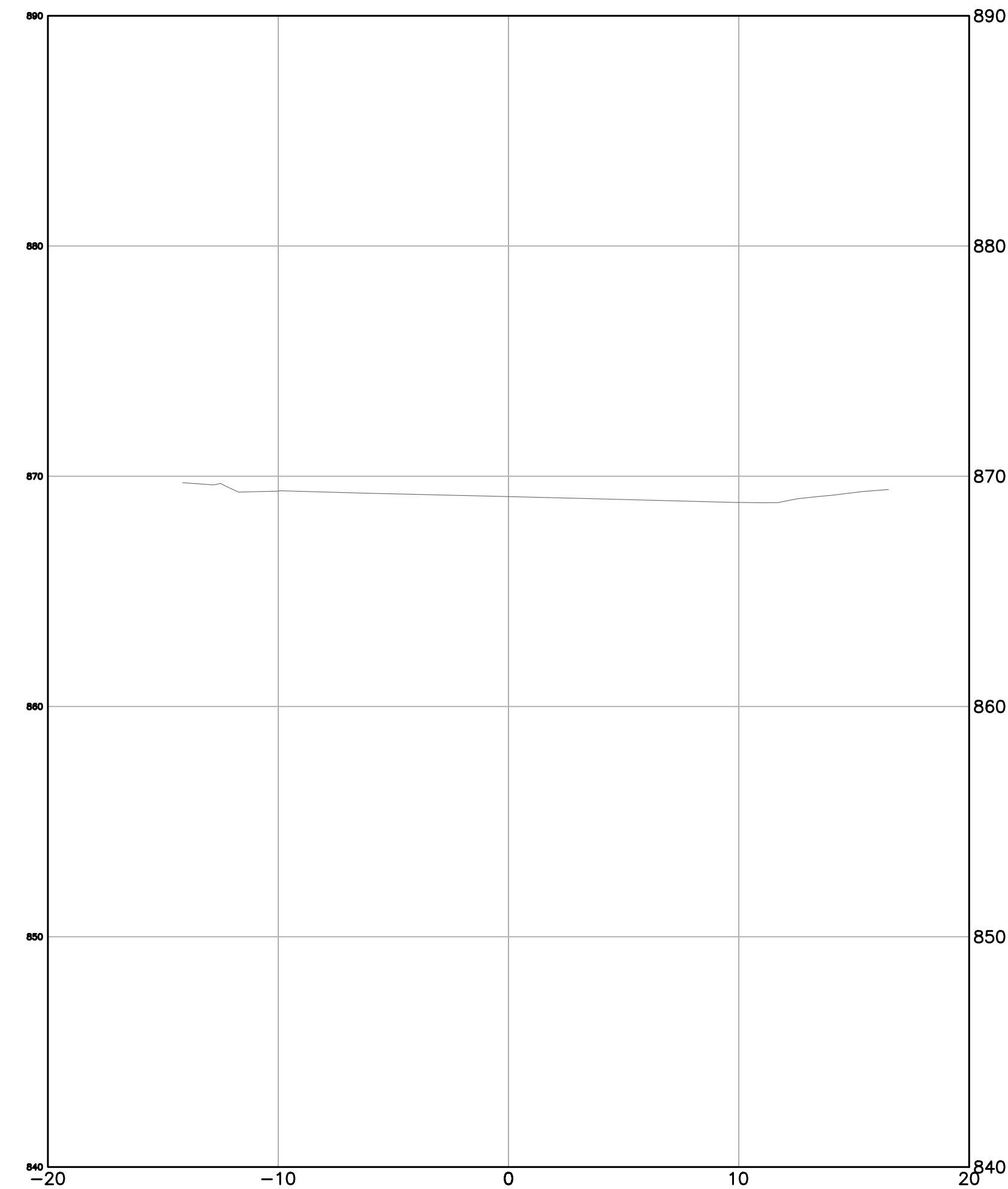
SECTION C

SCALE: 1"=5'



SECTION D

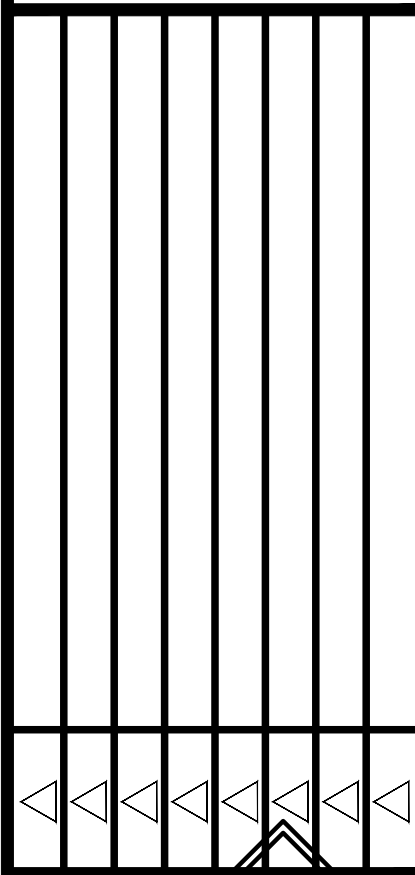
SCALE: 1"=5'



SECTION E

SCALE: 1"=5'

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APN: 417-0289-008

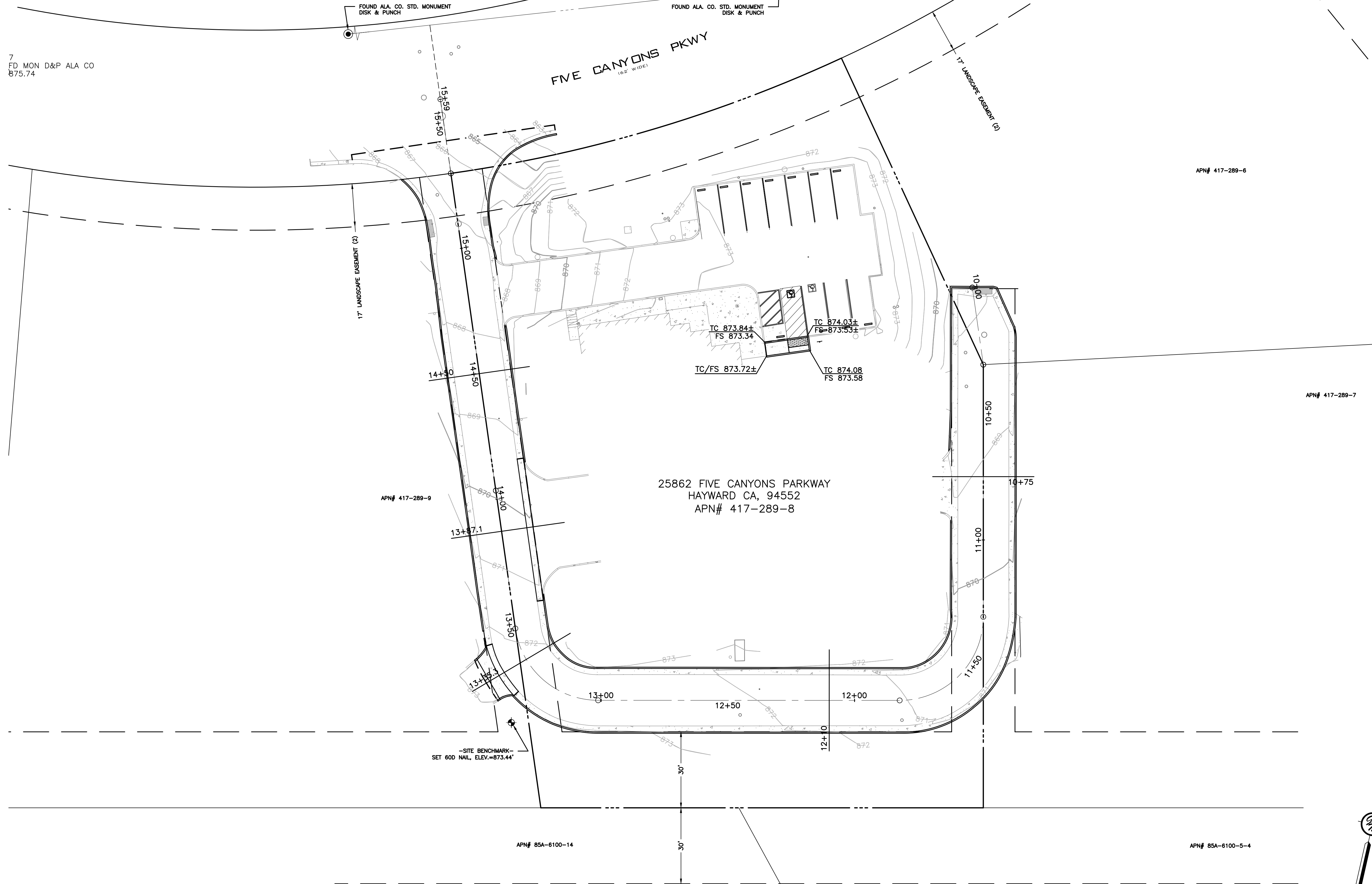
SECTIONS

CHECKED BY:
 DRAWN BY: **TRL**
 SCALE: **AS SHOWN**
 DATE: **11-08-2024**
 PROJECT NO.: **2024.054**
 PHASE NO.: **XX**

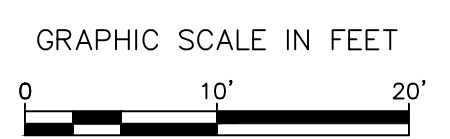
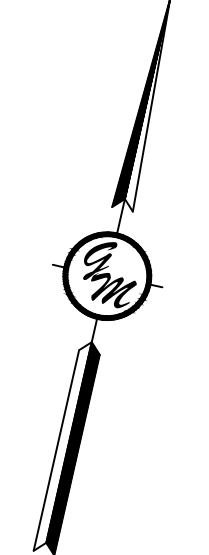
SHEET NO.: **C4.2**

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7
FD MON D&P ALA CO
875.74



25862 FIVE CANYONS PARKWAY
HAYWARD CA, 94552
APN# 417-289-8



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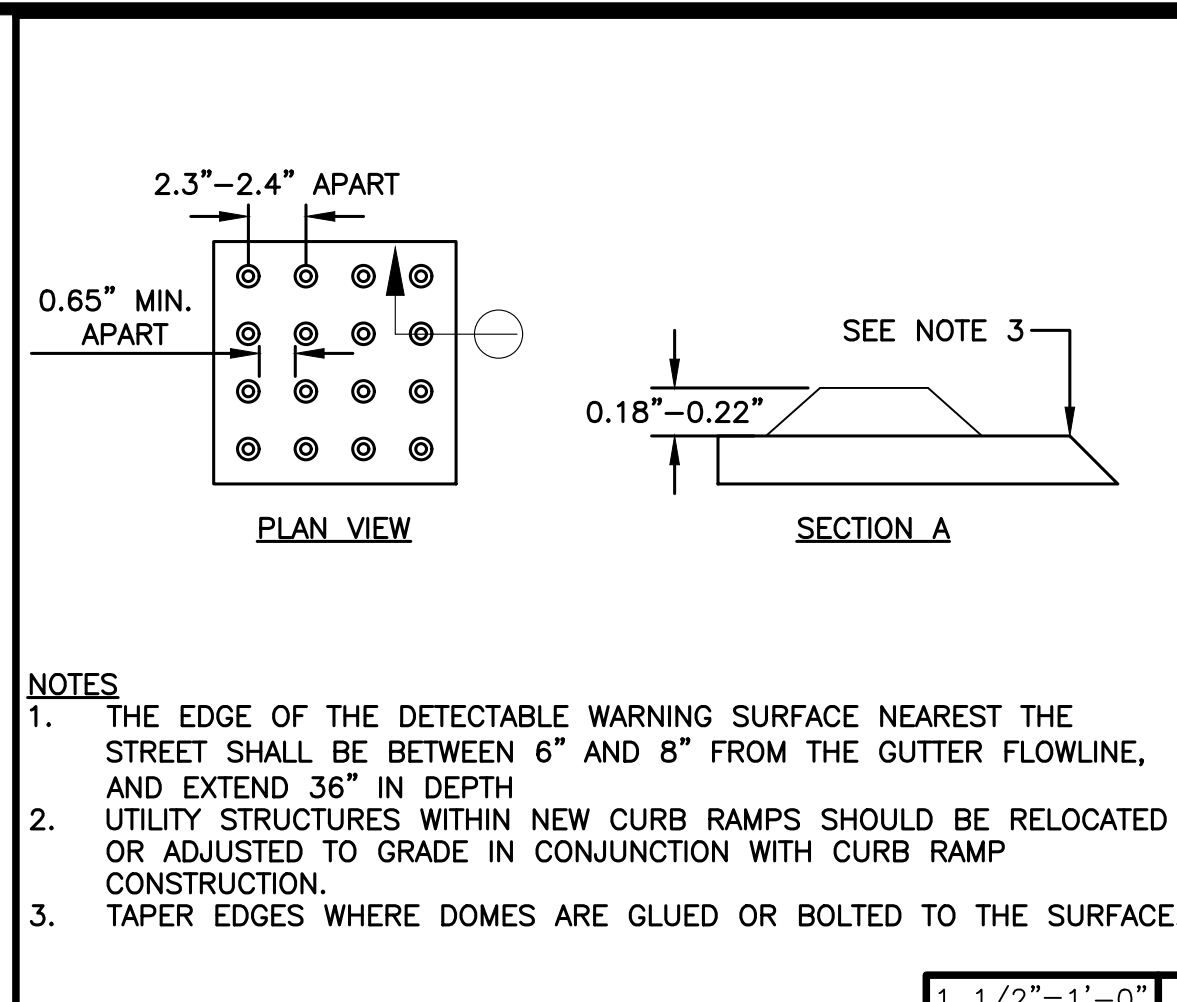
FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

EROSION CONTROL PLAN

CHECKED BY:	
DRAWN BY:	TRL
SCALE:	1"=10'
DATE:	11-08-2024
PROJECT NO.:	2024.054
PHASE NO.:	XX
SHEET NO.:	

C6.0

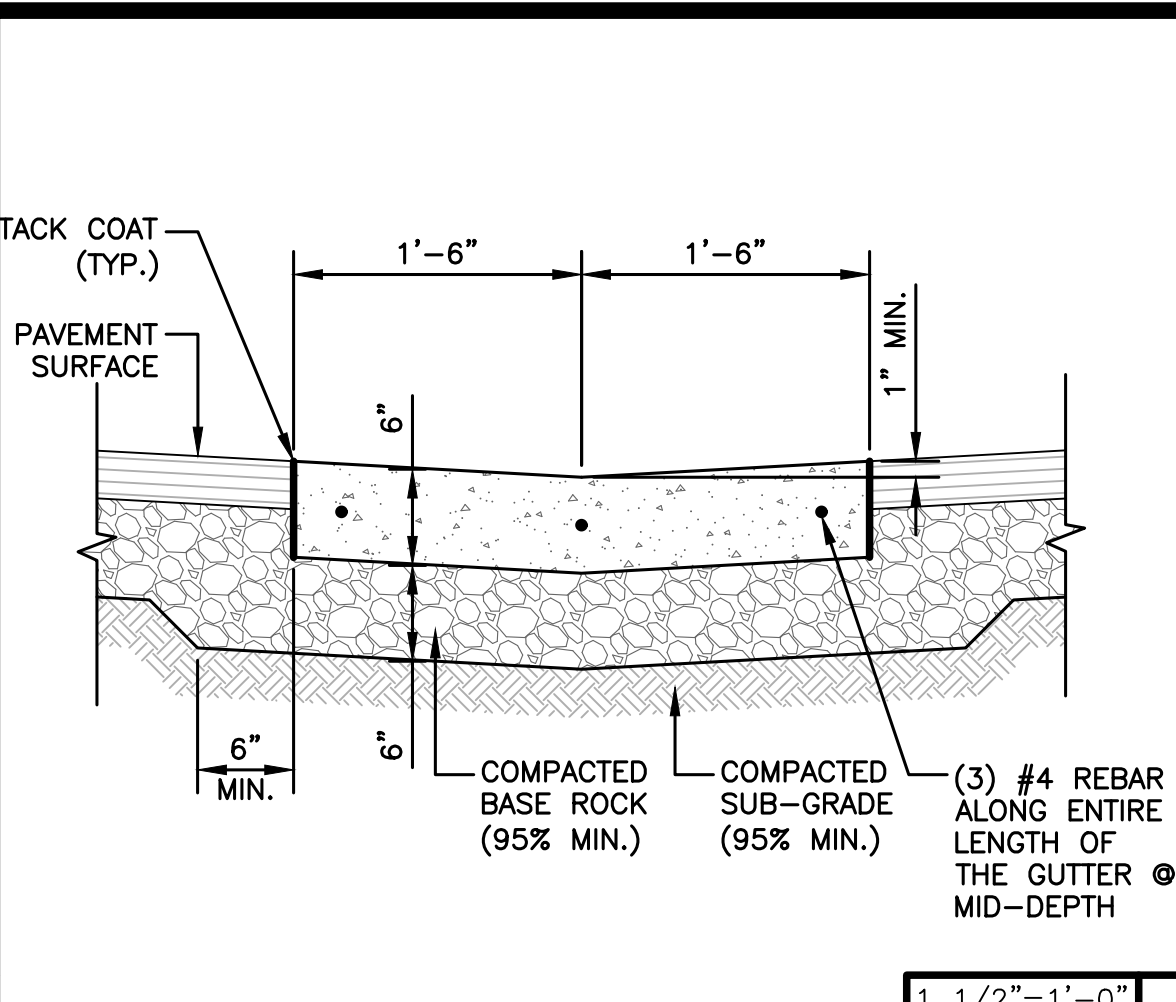
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NOTES
1. THE EDGE OF THE DETECTABLE WARNING SURFACE NEAREST THE STREET SHALL BE BETWEEN 6" AND 8" FROM THE GUTTER FLOWLINE, AND EXTEND 36" IN DEPTH.
2. UTILITY STRUCTURES WITHIN NEW CURB RAMP SHOULD BE RELOCATED OR ADJUSTED TO GRADE IN CONJUNCTION WITH CURB RAMP CONSTRUCTION.
3. TAPER EDGES WHERE DOMES ARE GLUED OR BOLTED TO THE SURFACE.

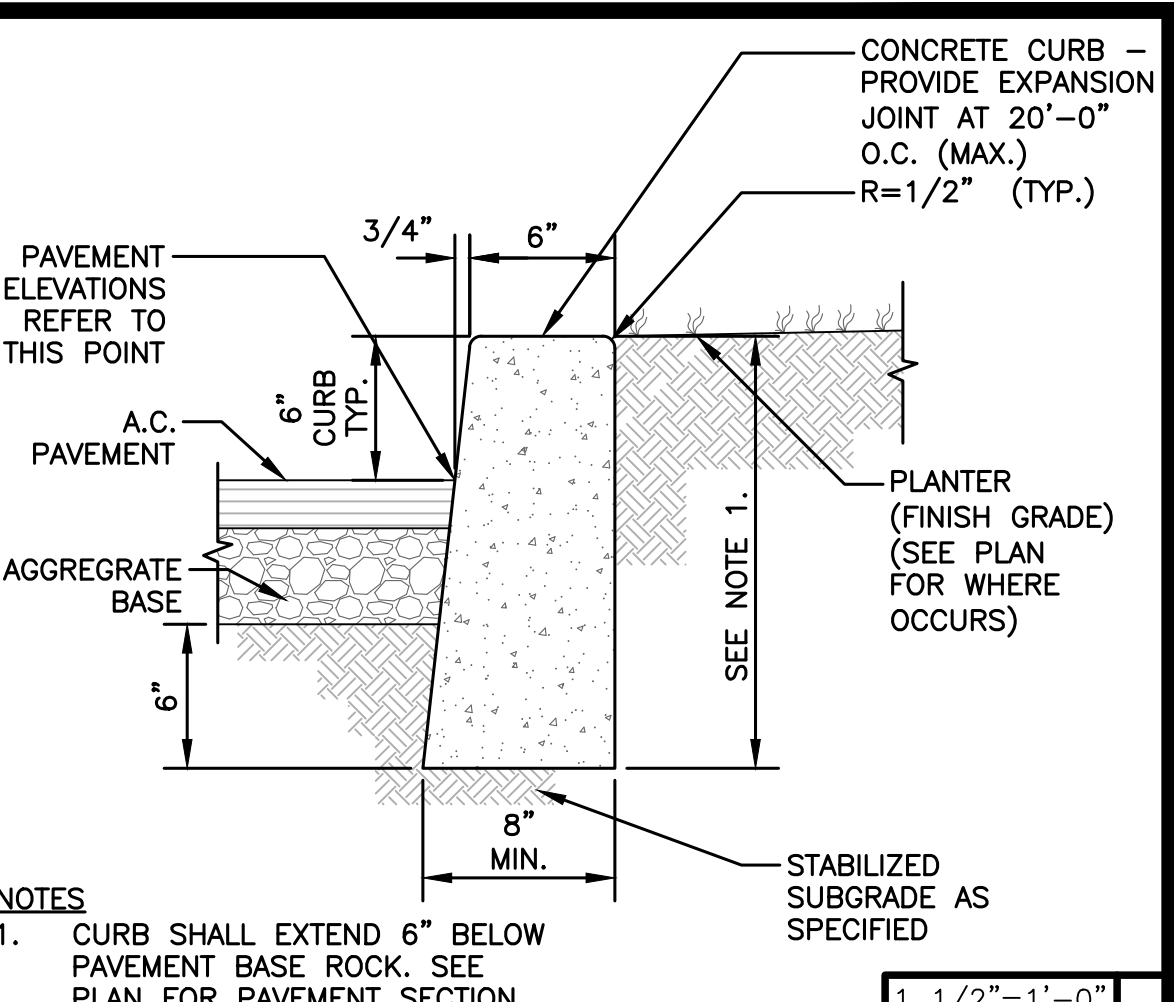
1 1/2"=1'-0"

TRUNCATED DOMES 8



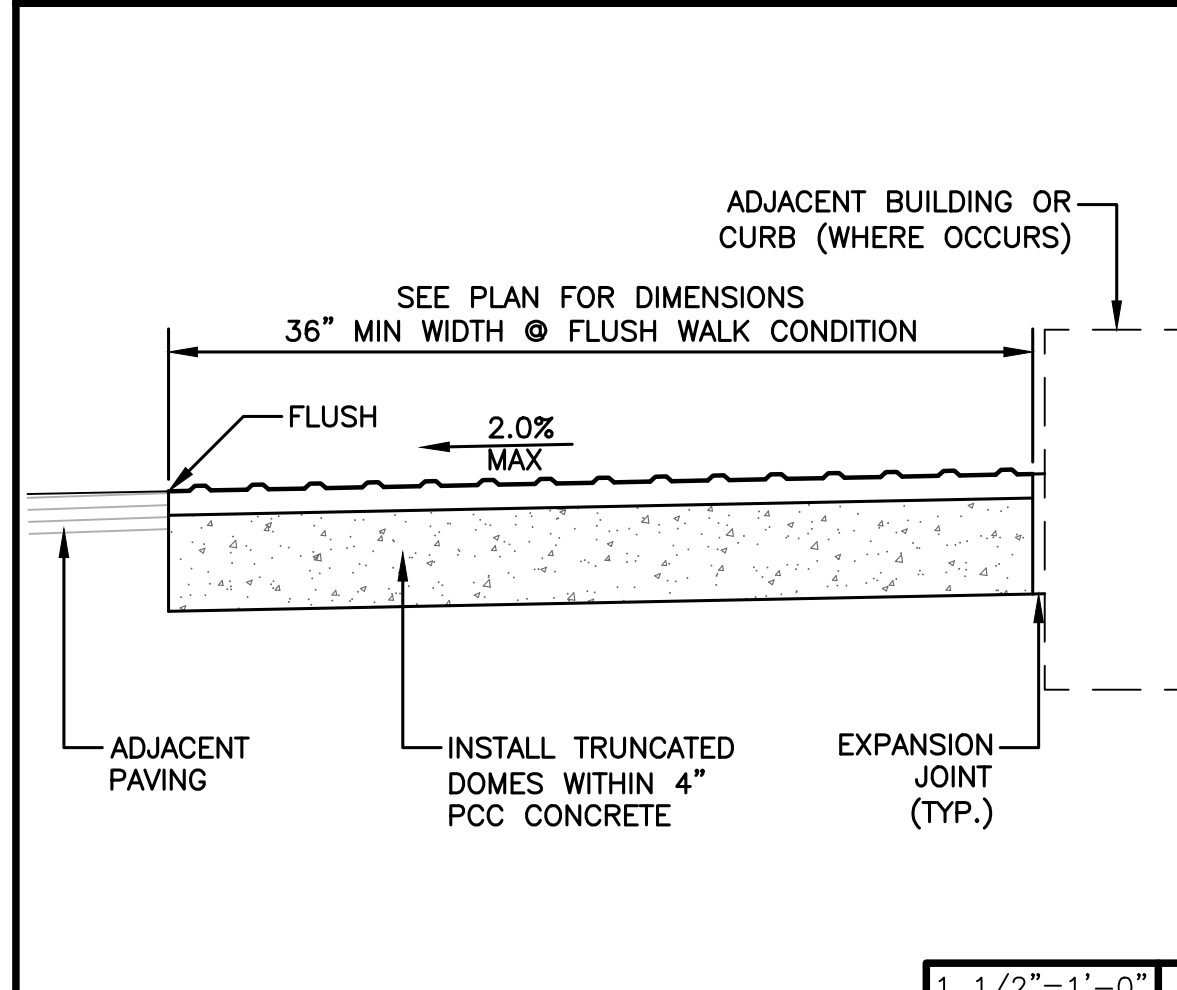
1 1/2"=1'-0"

CONCRETE VALLEY GUTTER 5



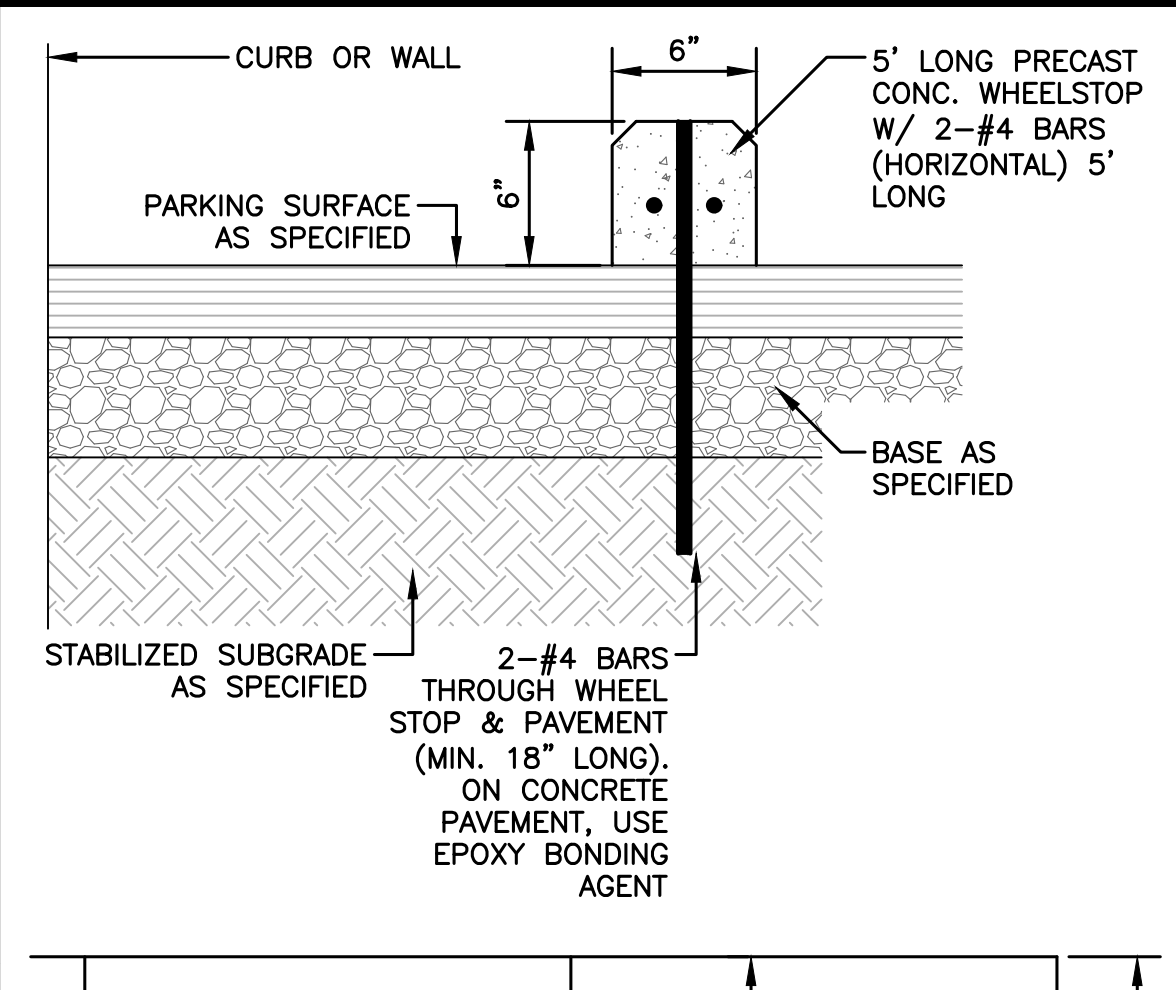
1 1/2"=1'-0"

VERTICAL CURB 1



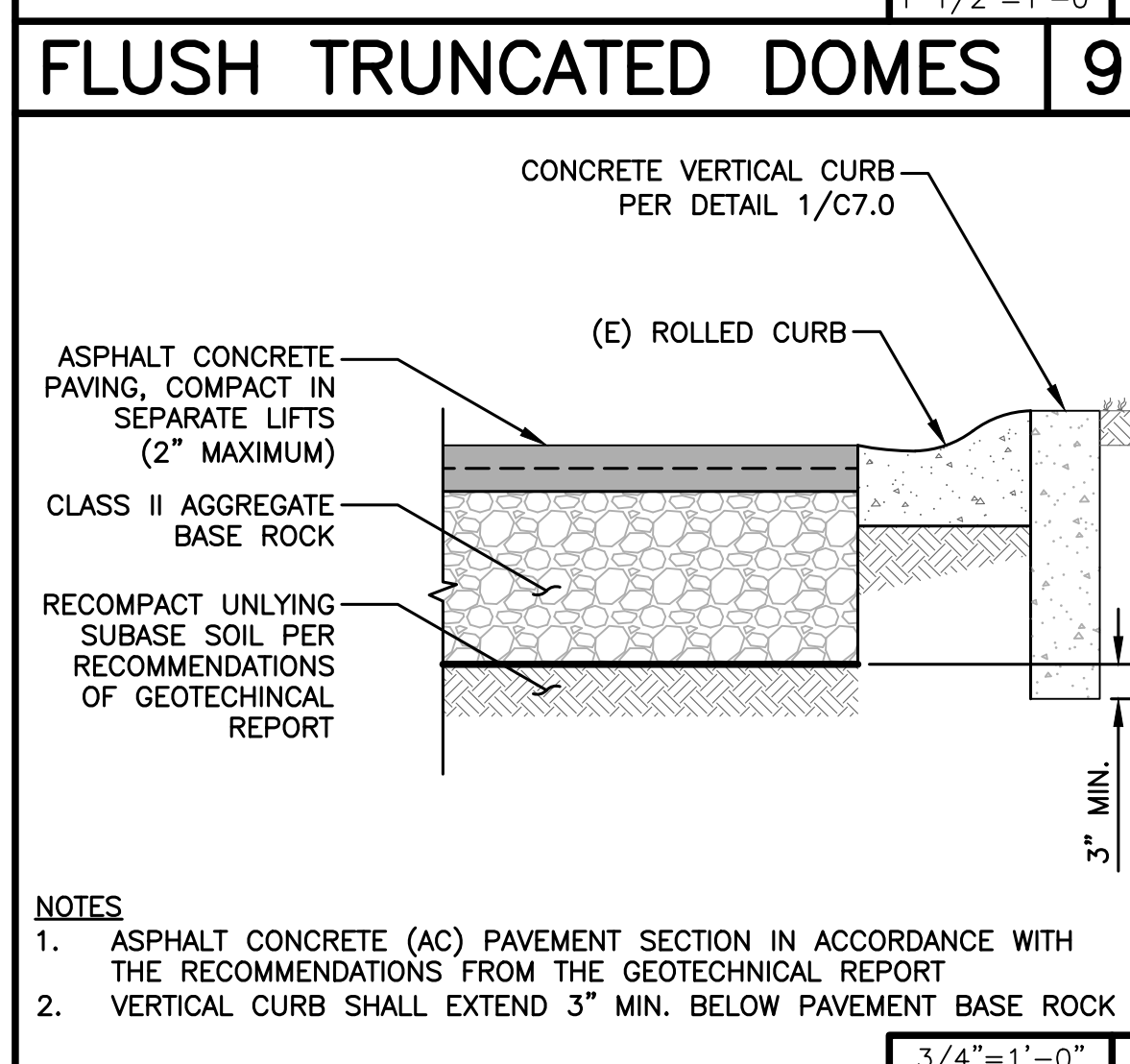
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FLUSH TRUNCATED DOMES 9



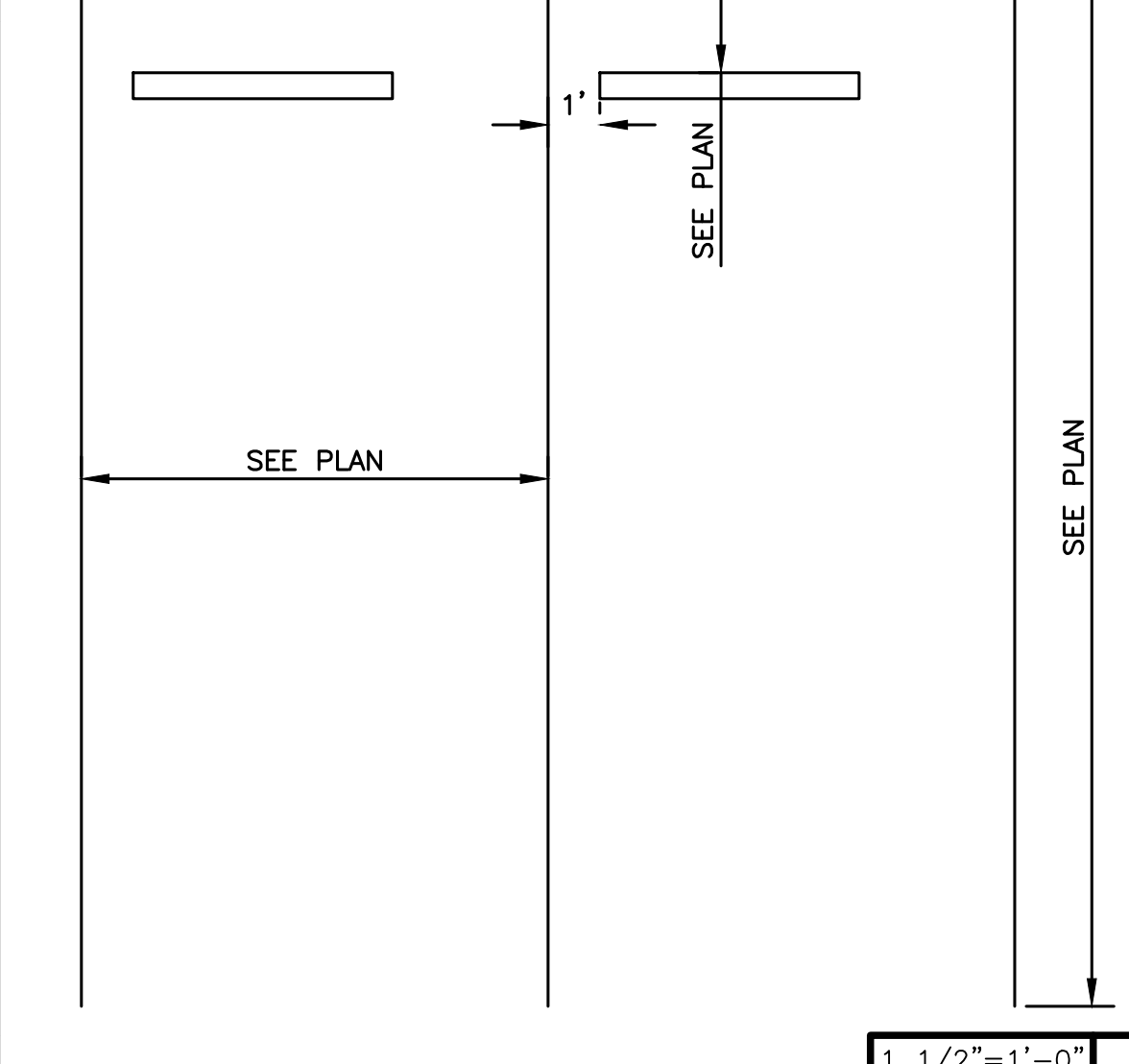
1"=1'-0"

ONSITE CURB & GUTTER 2



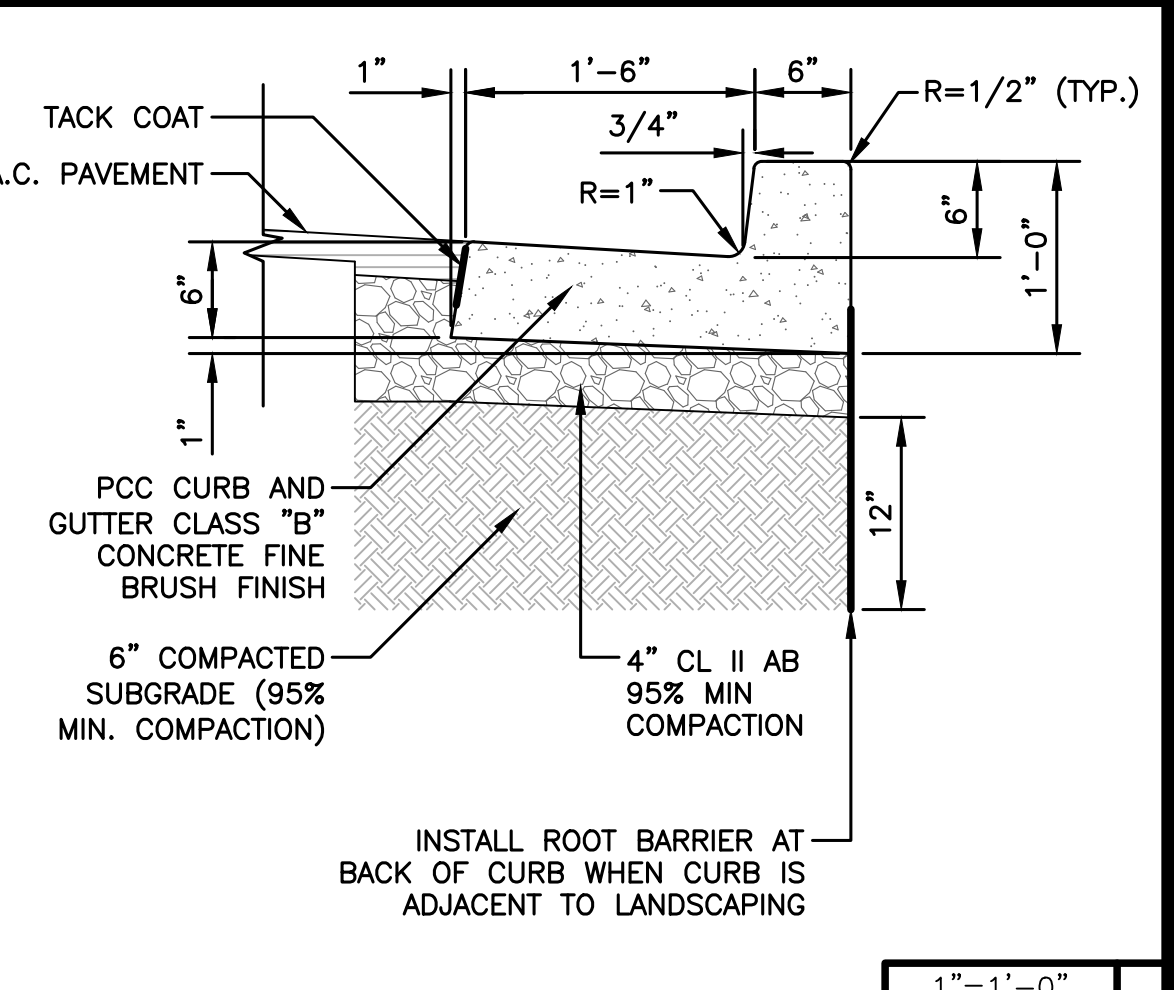
3/4"=1'-0"

CONCRETE VAPOR BARRIER 10



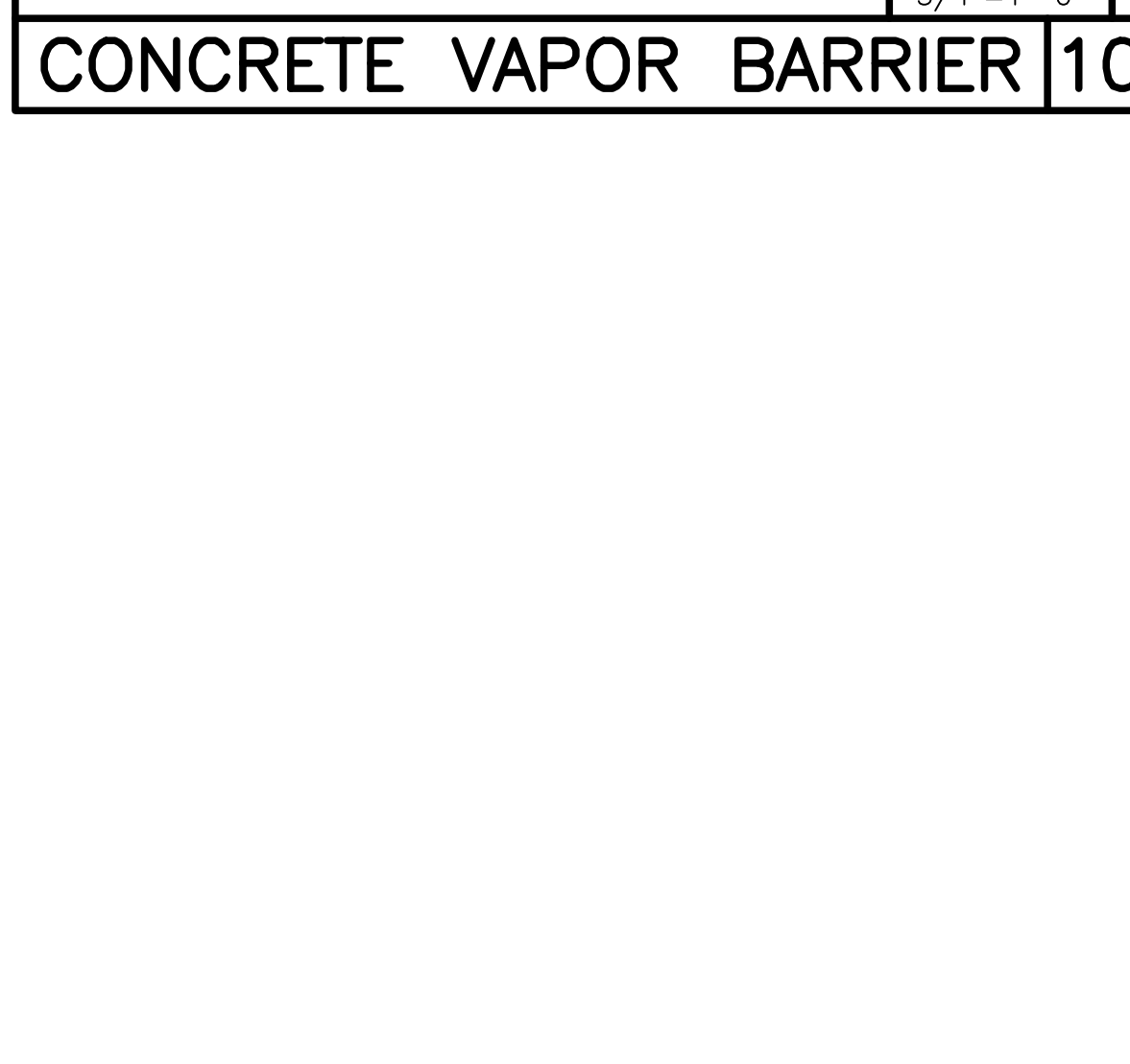
1 1/2"=1'-0"

WHEEL STOP 6



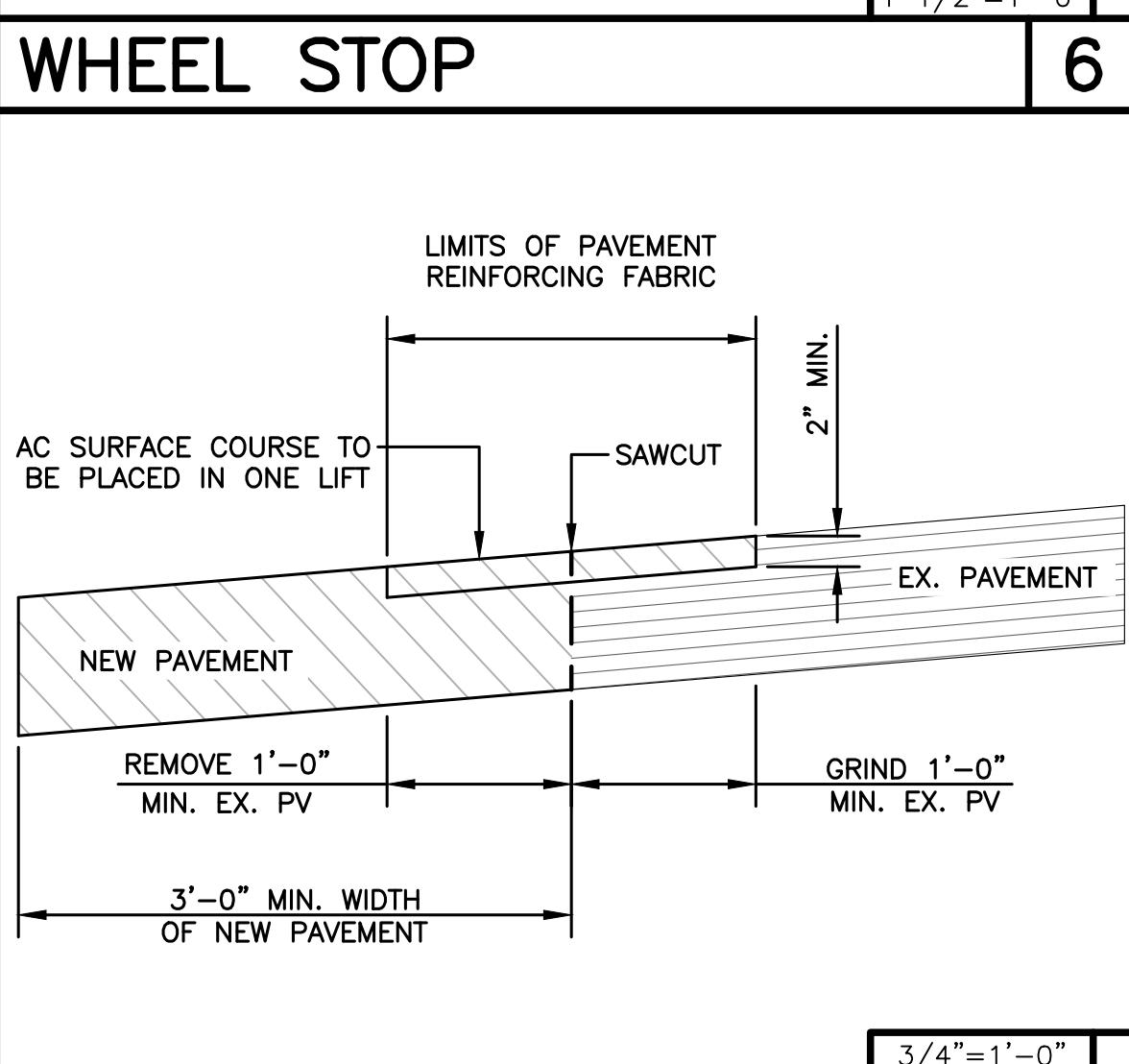
3/4"=1'-0"

CONCRETE PAVEMENT SEC. 3



3/4"=1'-0"

SAWCUT 7



1"=1'-0"

CURB AND SIDEWALK 4



FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
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DETAILS

CHECKED BY:
DRAWN BY: TRL
SCALE: AS SHOWN
DATE: 11-08-2024
PROJECT NO.: 2024.054
PHASE NO.: XX
SHEET NO.:

C7.0

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EROSION CONTROL NOTES

TEMPORARY EROSION CONTROL MEASURES EFFECTIVE DURING RAINY SEASON - OCTOBER 1 TO APRIL 30

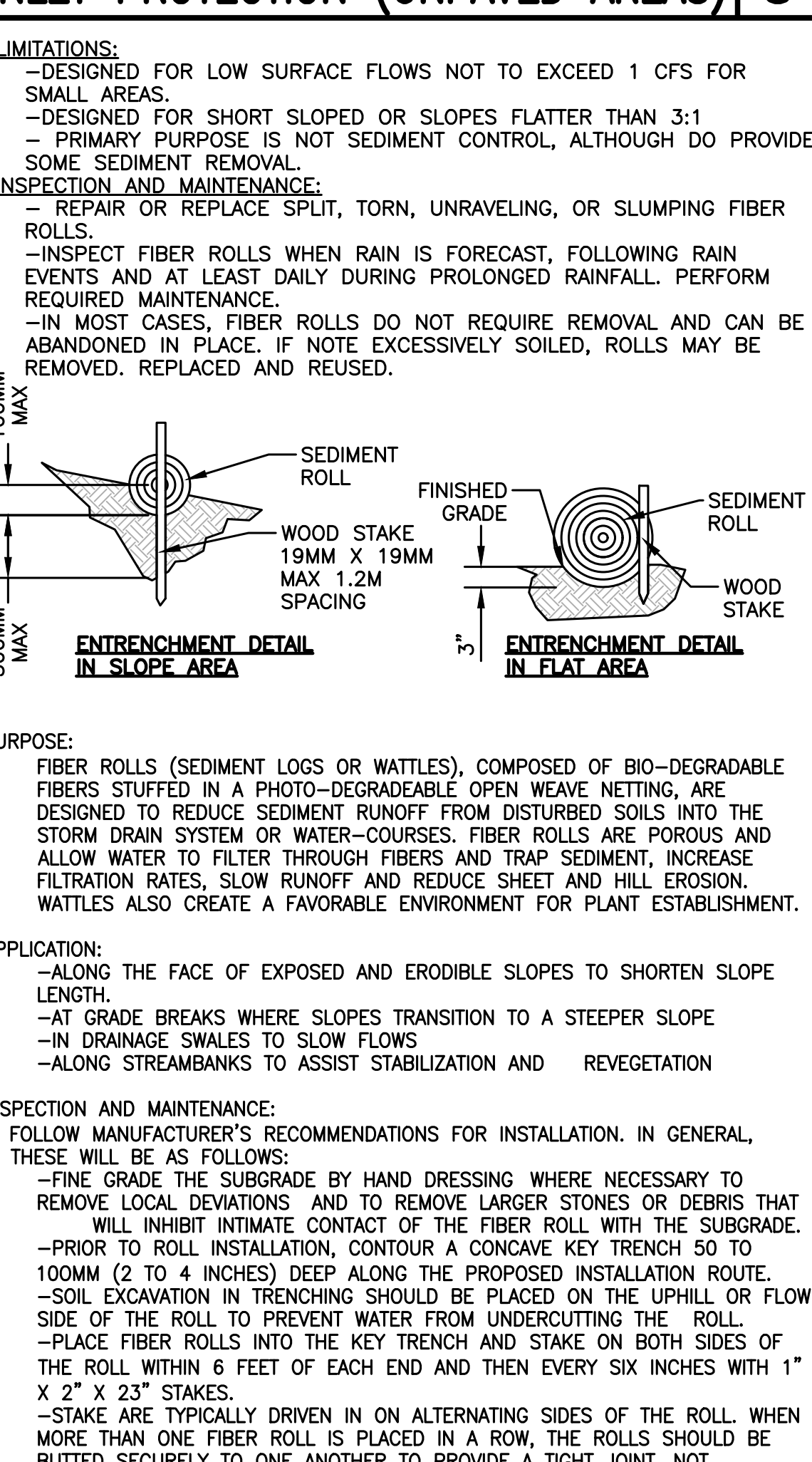
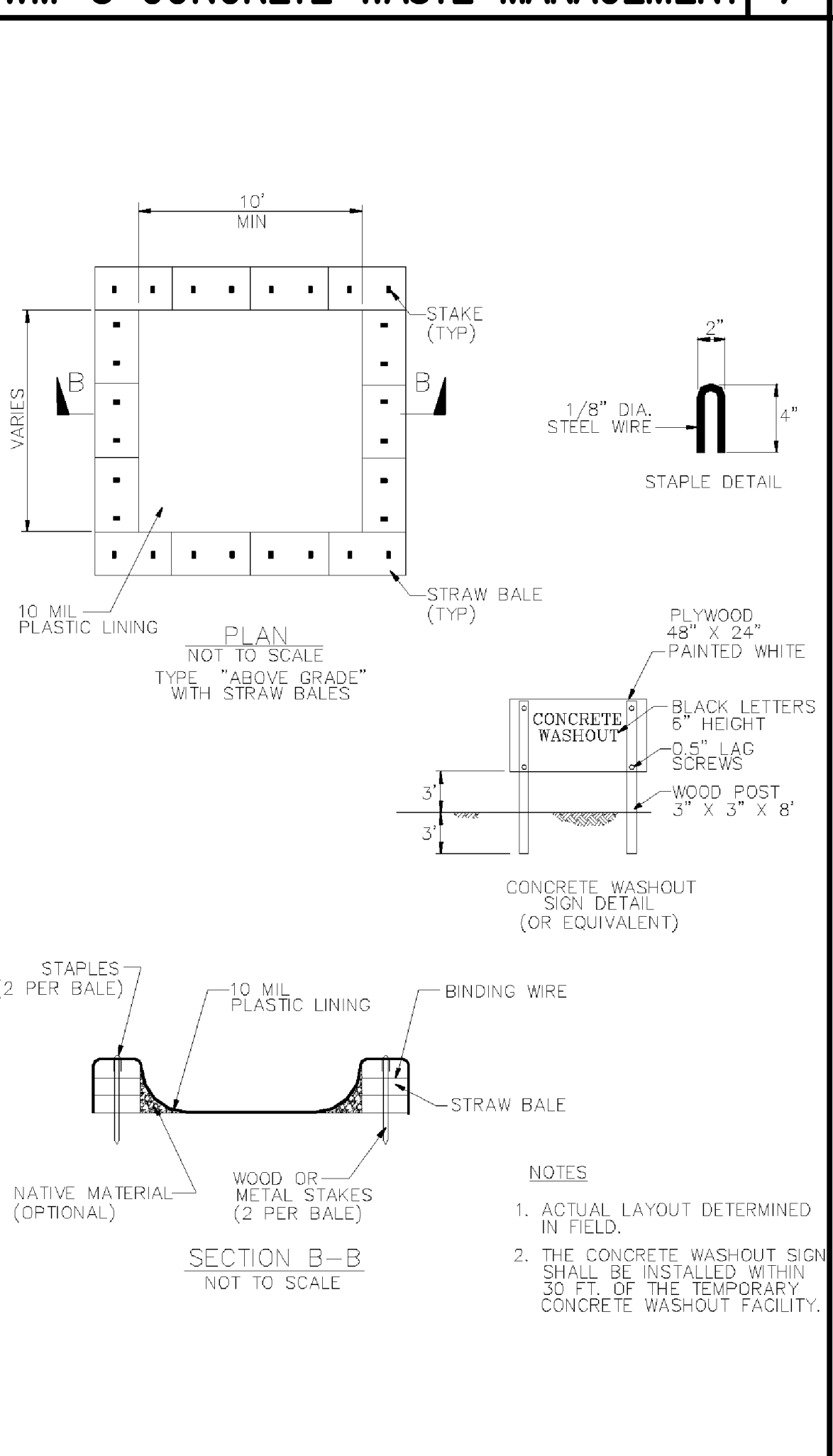
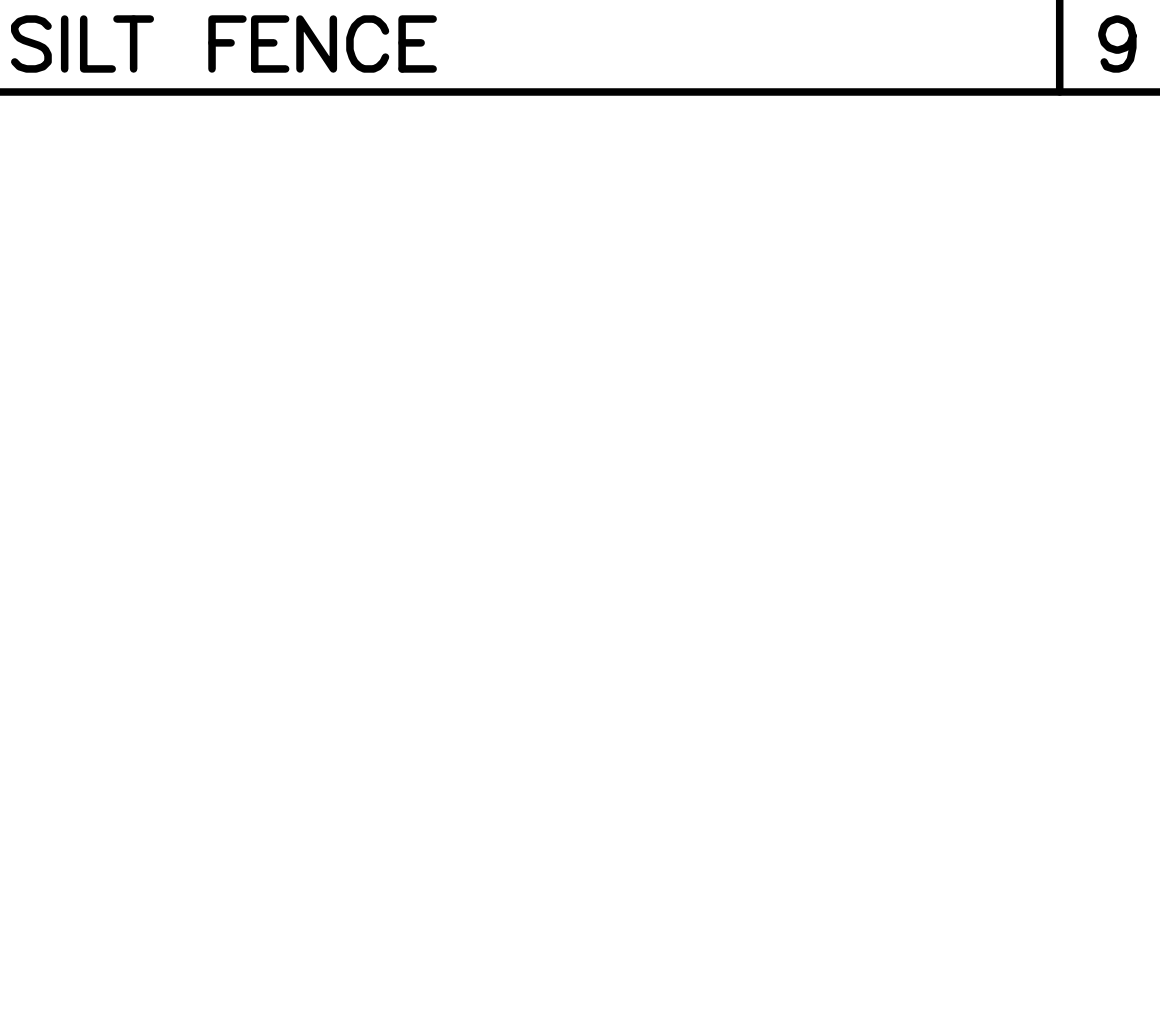
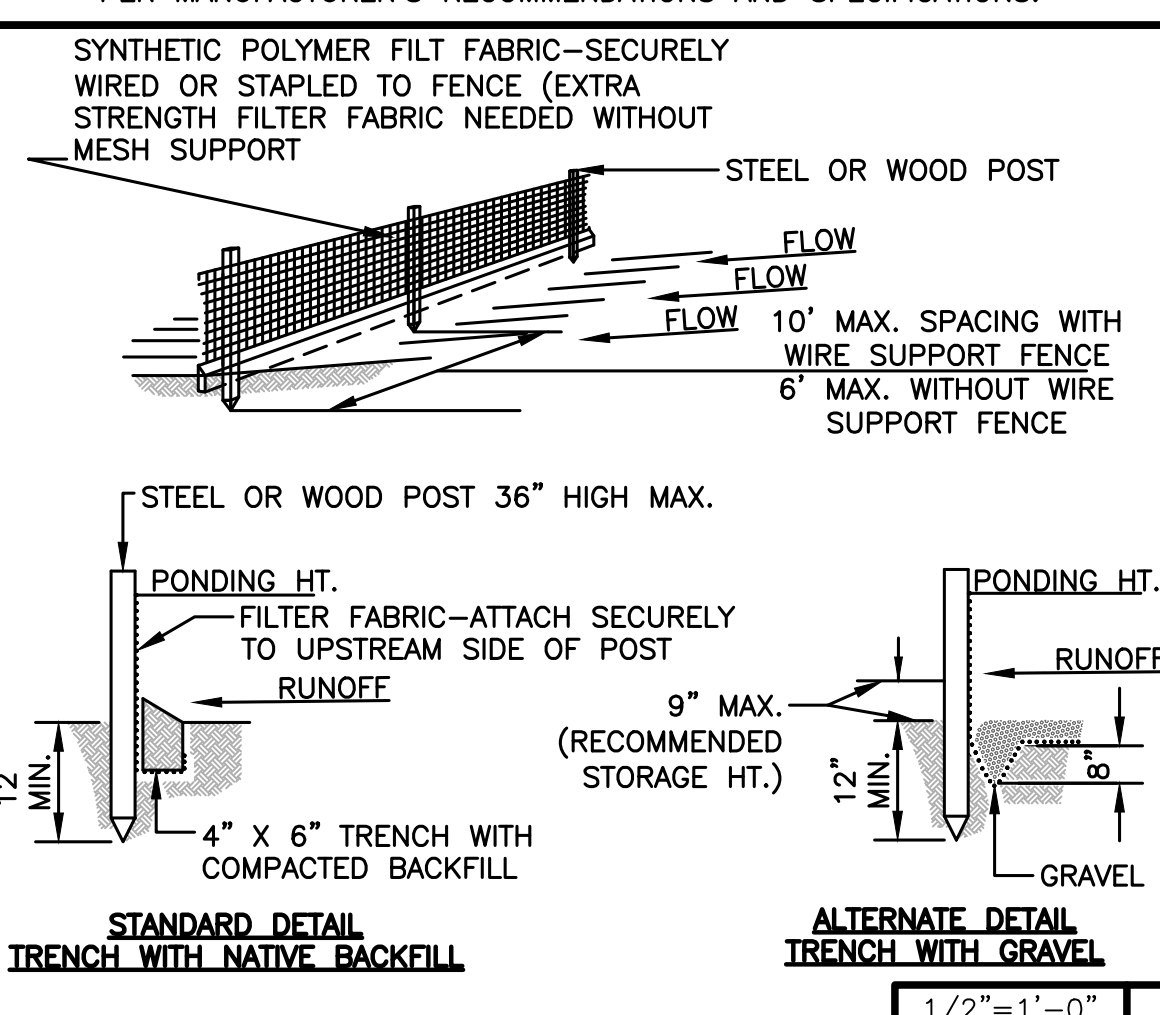
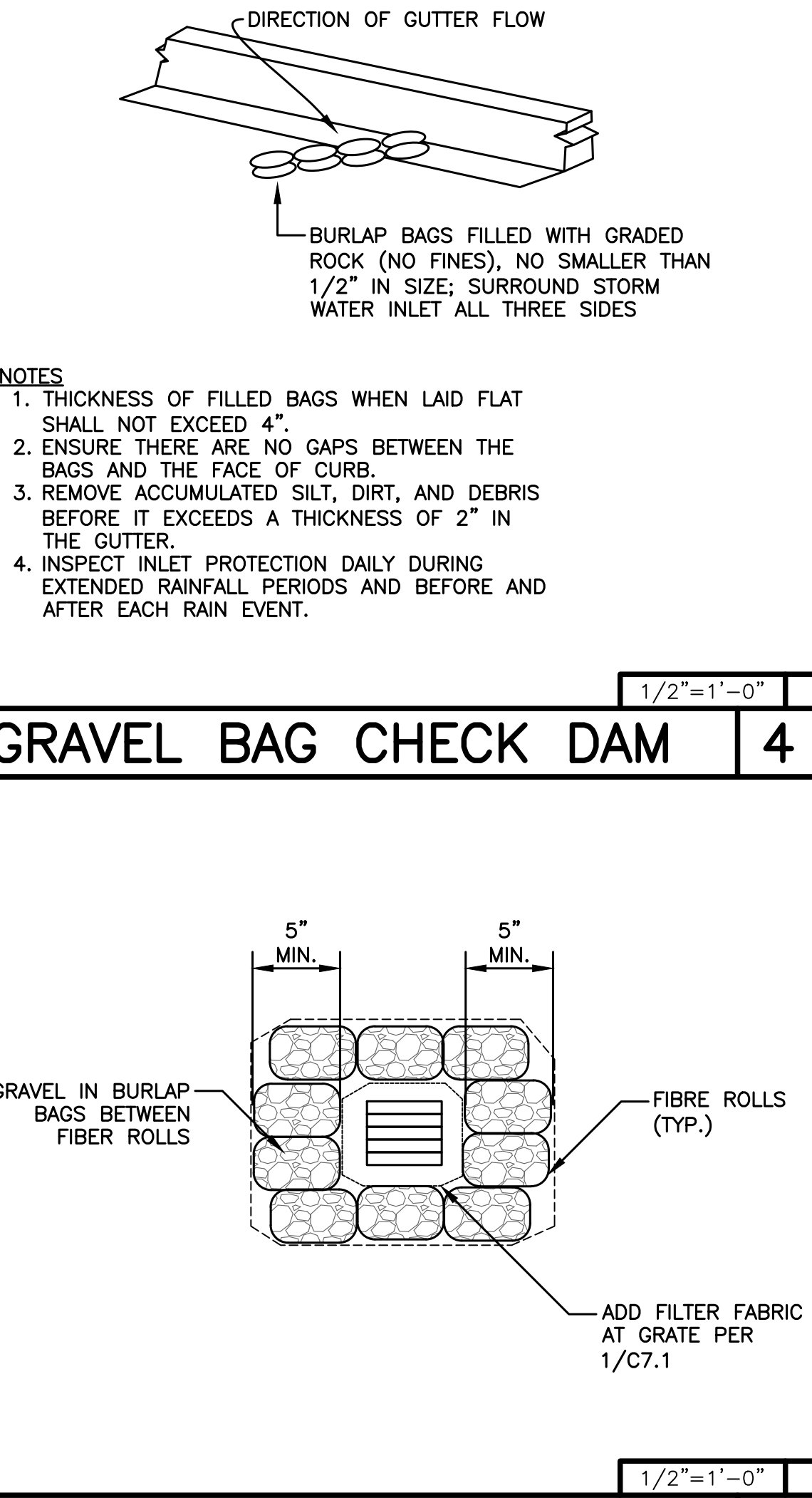
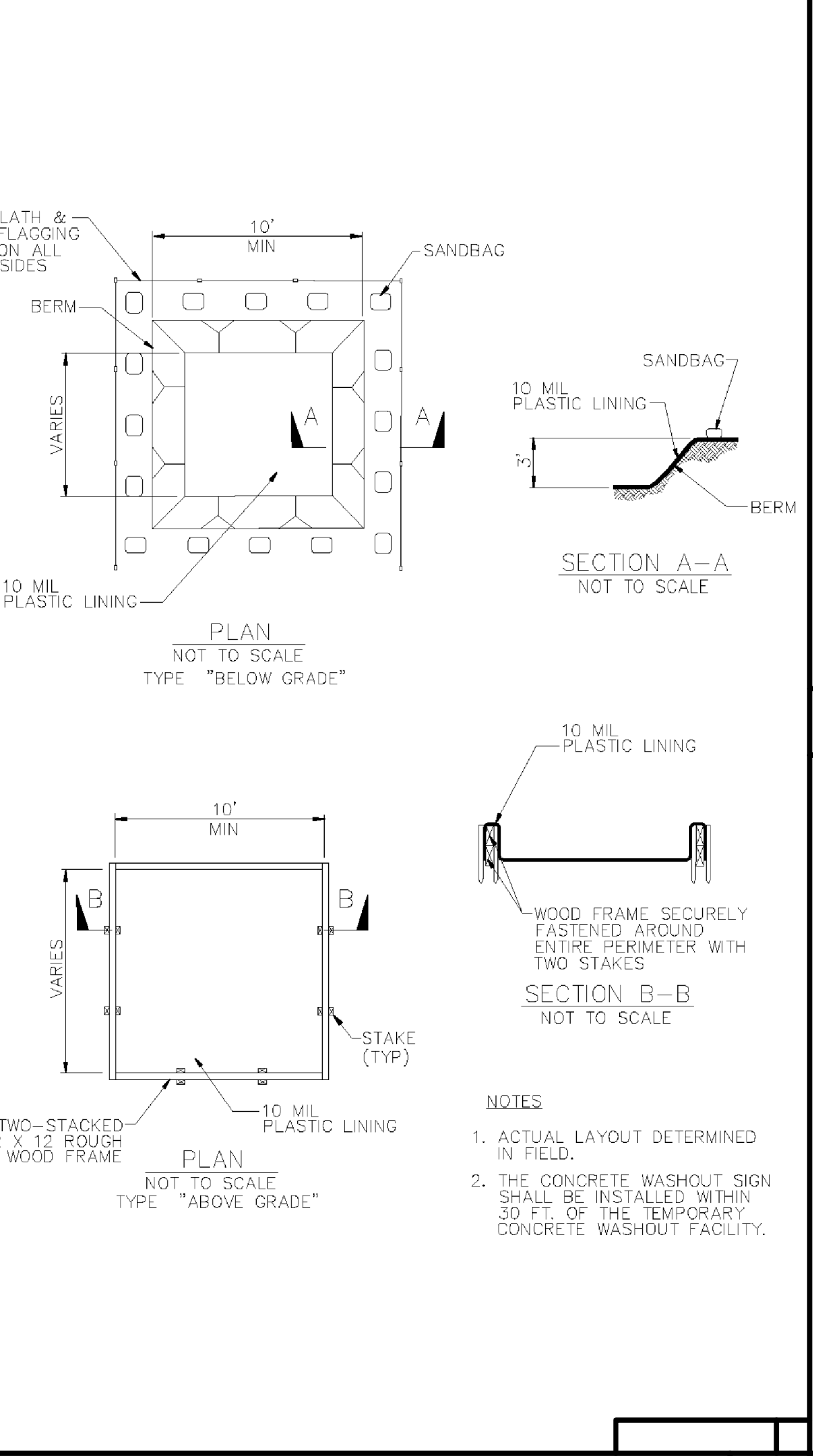
- TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
- EXCEPT AS OTHERWISE DIRECTED BY THE INSPECTOR, ALL DEVICES SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY DURING THE RAINY SEASON AND MAINTAINED DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30).
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE ASSOCIATION OF BAY AREA GOVERNMENTS (ABAG) "MANUAL OF STANDARDS FOR EROSION AND SEDIMENT CONTROL MEASURES" UNLESS OTHERWISE STATED WITHIN THESE GENERAL NOTES. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC SERVICES DEPARTMENT. SCHEDULE AN ENGINEERING INSPECTION AT LEAST 48 HOURS PRIOR TO THE START OF ANY WORK.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
- THE CONTRACTOR SHALL PLACE 3"-4" FRACTURED STONE AGGREGATE AS A GRAVEL ROADWAY (6" MINIMUM THICKNESS FOR THE FULL WIDTH AND 50 FEET LONG) AT EACH ROAD ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THE SAME DAY AS REQUIRED BY THE COUNTY ENGINEER. MINIMUM WIDTH OF GRAVEL ROADWAY IS 10 FEET.
- A CONCRETE WASHOUT IS REQUIRED FOR ALL CONCRETE WORK. THE WASHOUT SHALL CONSIST OF A CONTAINMENT AREA ENCLOSED BY AN EARTHEN DIKE. PLASTIC TARP, COVERING THE CONTAINMENT AREA AND EARTHEN DIKE, SHALL BE STAKED IN AT OUTSIDE EDGE OF EARTHEN DIKE.
- ADDITIONAL CONTAINMENT METHODS MUST BE PROVIDED FOR ANY WASTE STORAGE AREA, STOCKPILE/MATERIAL STORAGE AREA AND/OR CONSTRUCTION TOILET AREA.
- THE PERSON RESPONSIBLE IMPLEMENTING, INSPECTING AND MAINTAINING THE EROSION AND SEDIMENT CONTROL MEASURES IS:
CONTACT PERSON'S NAME: XXXX XXXXX
TELEPHONE NUMBER: XXX-XXX-XXXX
- STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- AFTER OCTOBER 1, ALL EROSION CONTROL MEASURES WILL BE INSPECTED DAILY AND AFTER EACH STORM. AFTER OCTOBER 1, BREACHES IN DIKES AND SWALES WILL BE REPAIRED AT THE CLOSE OF EACH DAY AND WHENEVER RAIN IS FORECAST.
- AS A PART OF THE EROSION CONTROL MEASURES, UNDERGROUND STORM DRAIN FACILITIES AND CONCRETE SHALL BE INSTALLED COMPLETE AS SHOWN ON THE IMPROVEMENT PLANS.
- ALL STORM DRAIN INLET STRUCTURES GREATER THAN FOUR FEET IN DEPTH SHALL HAVE STEPS INSTALLED PER THE LATEST ACCEPTED SAFETY STANDARDS. A 6" CONCRETE COVER SLAB SHALL BE INSTALLED OVER PIPE WITH LESS THAN 2.5 FEET OF COVER TO SUBGRADE. ALL PIPE TO BE CLASS III UNLESS OTHERWISE NOTED.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEED PER ABAG. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE COUNTY ENGINEER.
- IF ANY GRADING OPERATIONS, OTHER THAN LOT FINISH GRADING, ARE TO BE PERFORMED DURING THE RAINY SEASON, OCTOBER 1 THROUGH APRIL 30, AN EROSION CONTROL PLAN MUST BE SUBMITTED BY SEPTEMBER 1 AND THE PLAN MUST BE APPROVED BY THE COUNTY OF ALAMEDA PRIOR TO THE COMMENCEMENT OF ANY SUCH GRADING OPERATIONS.
- TO MINIMIZE EROSION OF GRADED BANKS, ALL GRADED BANKS STEEPER THAN 2:1 AND HIGHER THAN 3 FEET SHALL BE HYDROSEED, LANDSCAPED, OR SEALED. IN ADDITION TO HYDROSEEDING, APPLICATION OF STRAW WITH A TACKIFIER OR MULCH MAY BE REQUIRED BY THE COUNTY ENGINEER. IF THE PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED BY OCTOBER 1, TEMPORARY DITCHES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT, IN A MANNER THAT AVOIDS EROSION OF THE BANKS, TO THE EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW USING 4" EARTH BERMS OR SILT FENCES.
- ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE HYDROSEED PER COUNTY'S REQUIREMENT. SUGGESTED MIX DESIGN FOLLOWS:

'BLANDO' BROME	40 LBS/ACRE
ZORRO FESCUE	10 LBS/ACRE
HYKON ROSE CLOVER	9 LBS/ACRE
SUB CLOVER	5 LBS/ACRE
CALIFORNIA NATIVE WILDFLOWER	8 LBS/ACRE
FERTILIZER	300 LBS/ACRE
ORGANIC BINDER	100 LBS/ACRE
STRAW MULCH	4000 LBS/ACRE
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY ENGINEER.
- SANDBAGS, STRAW WATTLES AND/OR STRAW BALES SHALL BE STOCKPILED ON SITE AND PLACED AT INTERVALS SHOWN ON EROSION CONTROL PLANS, WHEN THE RAIN FORECAST IS 40% OR GREATER, OR WHEN DIRECTED BY THE INSPECTOR.
- SANDBAGS REFERRED TO IN THE PRECEDING ITEMS MUST BE FULL APPROVED SANDBAG FILL MATERIALS ARE DECOMPOSED GRANITE AND/OR GRAVEL, OR OTHER MATERIALS APPROVED BY THE INSPECTOR.
- WHEN DIRECTED BY THE INSPECTOR, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.

- WHEN PAD ELEVATIONS OF ADJACENT LOTS OR ELEVATIONS BETWEEN THE STREET AND THE LOT ARE SEPARATED BY MORE THAN 6 FEET, A MINIMUM 12" BERM SHALL BE MAINTAINED ALONG THE PROPERTY LINE SEPARATING THE LOTS, AND THE BERM SHALL DIRECT THE WATER TO THE OUTLET. VELOCITY CHECK DAMS SHALL BE INSTALLED BETWEEN THE OUTLET ON THE LOT AND THE STREET.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED STREETS AT THE INTERVALS INDICATED BELOW IN NOTE #24. VELOCITY CHECK DAMS MAY BE CONSTRUCTED OF STRAW BALES, SANDBAGS OR OTHER EROSION RESISTANT MATERIALS APPROVED BY THE INSPECTOR, AND SHALL EXTEND COMPLETELY ACROSS THE STREET OR CHANNEL AT RIGHT ANGLES TO THE CENTERLINE. EARTH DIKES MAY NOT BE USED AS VELOCITY CHECK DAMS.
- PROVIDE VELOCITY CHECK DAMS IN ALL UNPAVED GRADED CHANNELS AT THE INTERVALS INDICATED BELOW:

GRADE OF CHANNEL	INTERVAL
LESS THAN 3%	100 FEET
3% TO 6%	50 FEET
OVER 6%	25 FEET
- SEWER OR STORM DRAIN TRENCHES THAT ARE OUT THROUGH BASIN DIKES OR BASIN INLET DIKES, SHALL BE PLUGGED WITH SANDBAGS FROM TOP OF PIPE TO TOP OF DIKE. SEWER LINES SHALL FIRST BE ENCASED IN CONCRETE BEFORE SANDBAGS ARE PLACED.
- ALL OPEN UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING DOWNWARD, TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG LOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING:

GRADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET
- AFTER STORM DRAIN, SANITARY SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDING SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTER LINE OF A CROWNED STREET.
- SEDIMENT TRAPS SHALL BE CLEANED OUT PER INSPECTOR'S DIRECTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLEAN THE DESILTING BASINS AND THE SEDIMENT TRAPS.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THESE PLANS IN THE FIELD, SUBJECT TO APPROVAL OF THE COUNTY ENGINEER.
- EROSION CONTROL STRUCTURES SHALL BE ADJUSTED BY THE CONTRACTOR TO REFLECT ALL CHANGES IN DRAINAGE AS STREETS AND BUILDING PADS ARE BEING INSTALLED.
- INSTALL EXCELSIOR CURLEX II EROSION CONTROL BLANKET OR APPROVED EQUAL ON GRADED SLOPES STEEPER THAN 3:1. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.



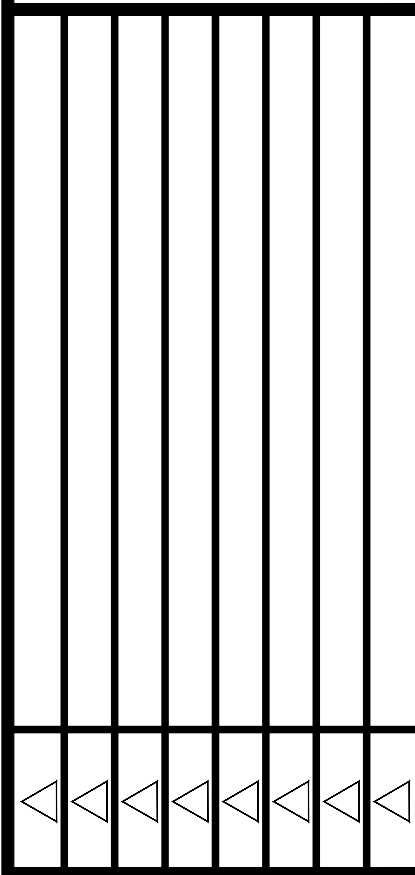
EROSION CONTROL NOTES 10

CONCRETE WASTE MANAGEMENT WM-8 8

STRAW WATTLE 6

CONSTRUCTION ENTRANCE 3

GREENWOOD & MOORE, INC.
Civil Engineers • Designers
Land Surveyors • Planners
3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546
Tel: 510-581-2772 Fax: 510-581-6913 www.greenwoodmoore.com

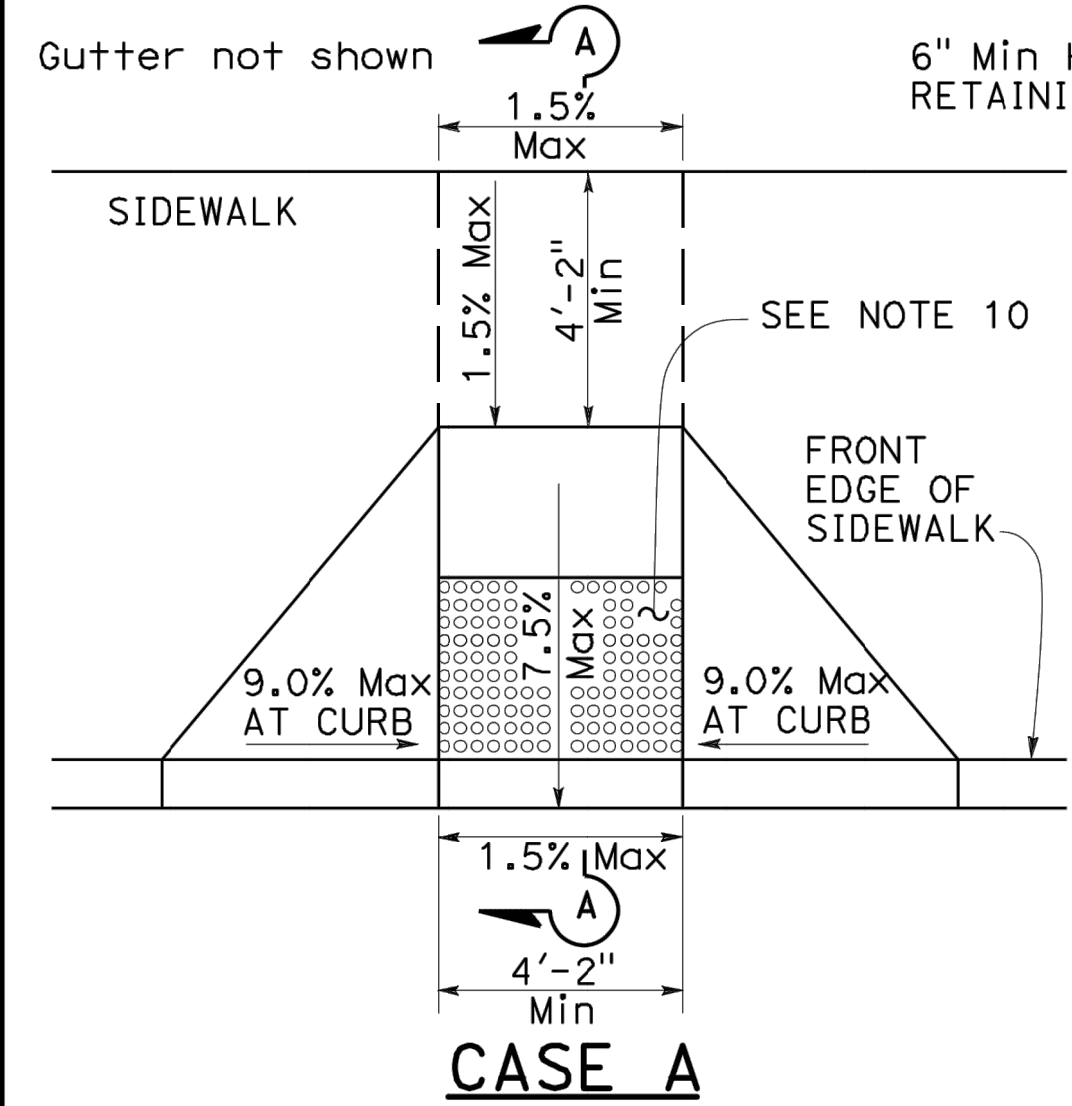


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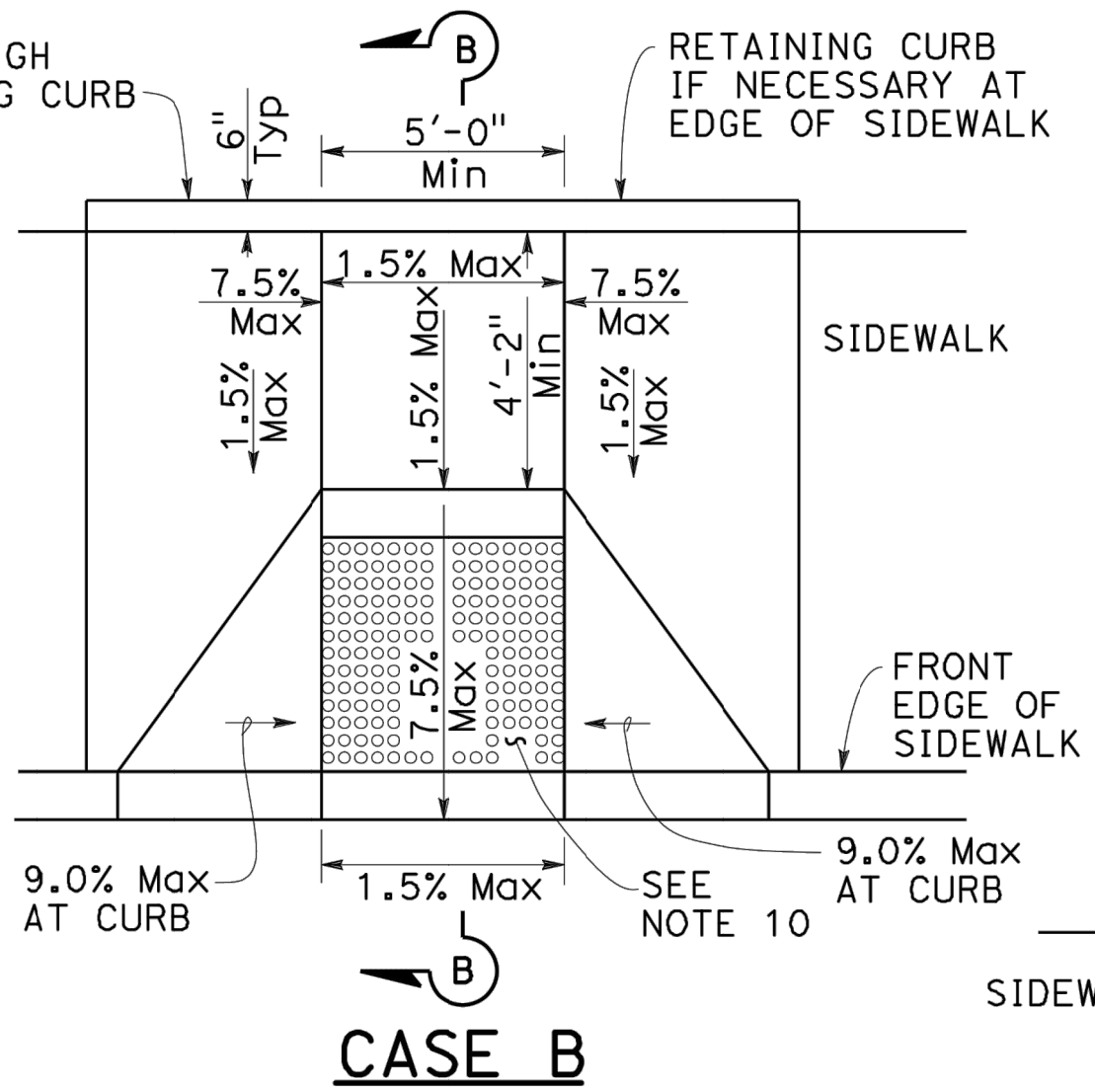
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CHECKED BY:
DRAWN BY: TRL
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PROJECT NO.: 2024.054
PHASE NO.: XX
SHEET NO.: C7.1

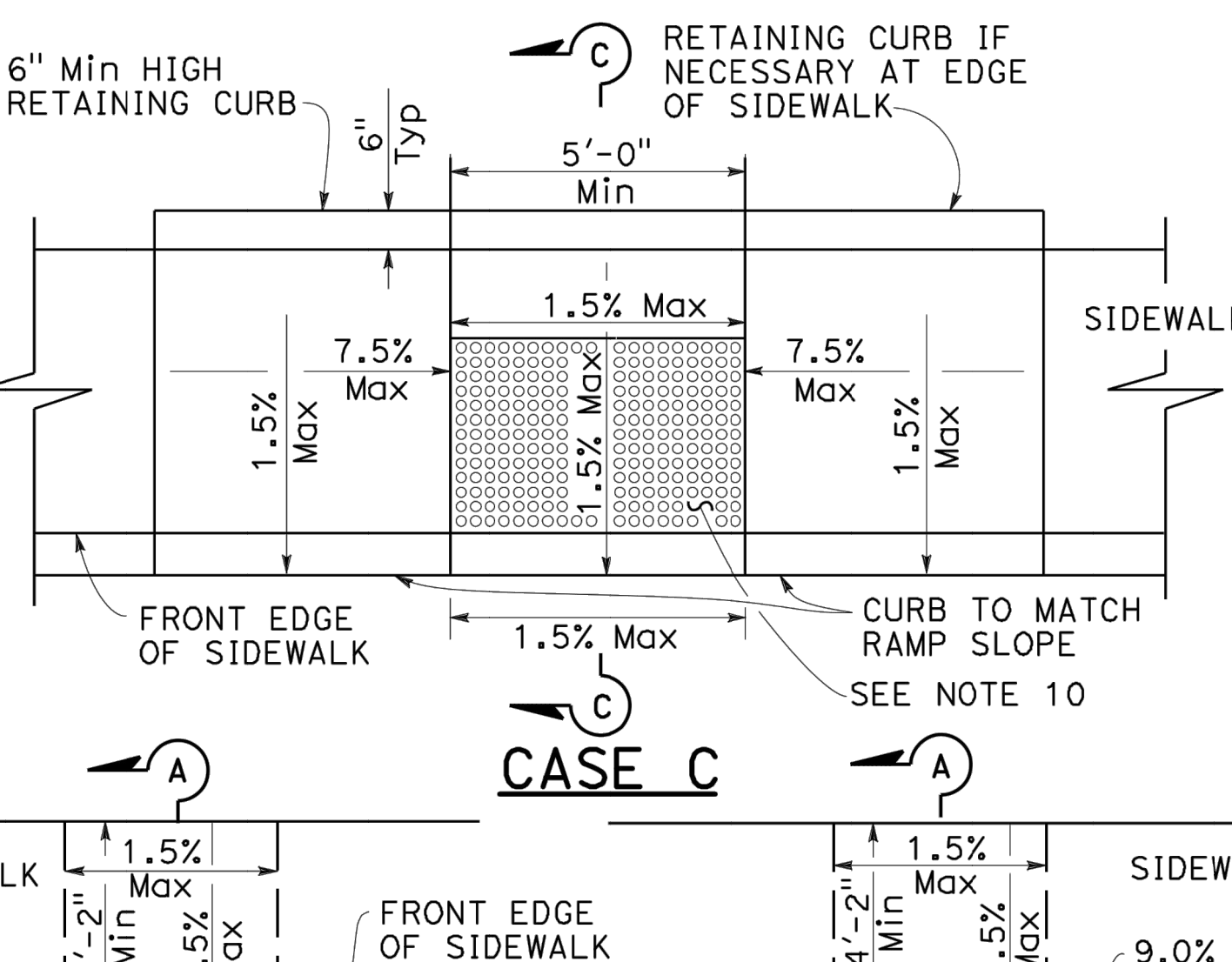
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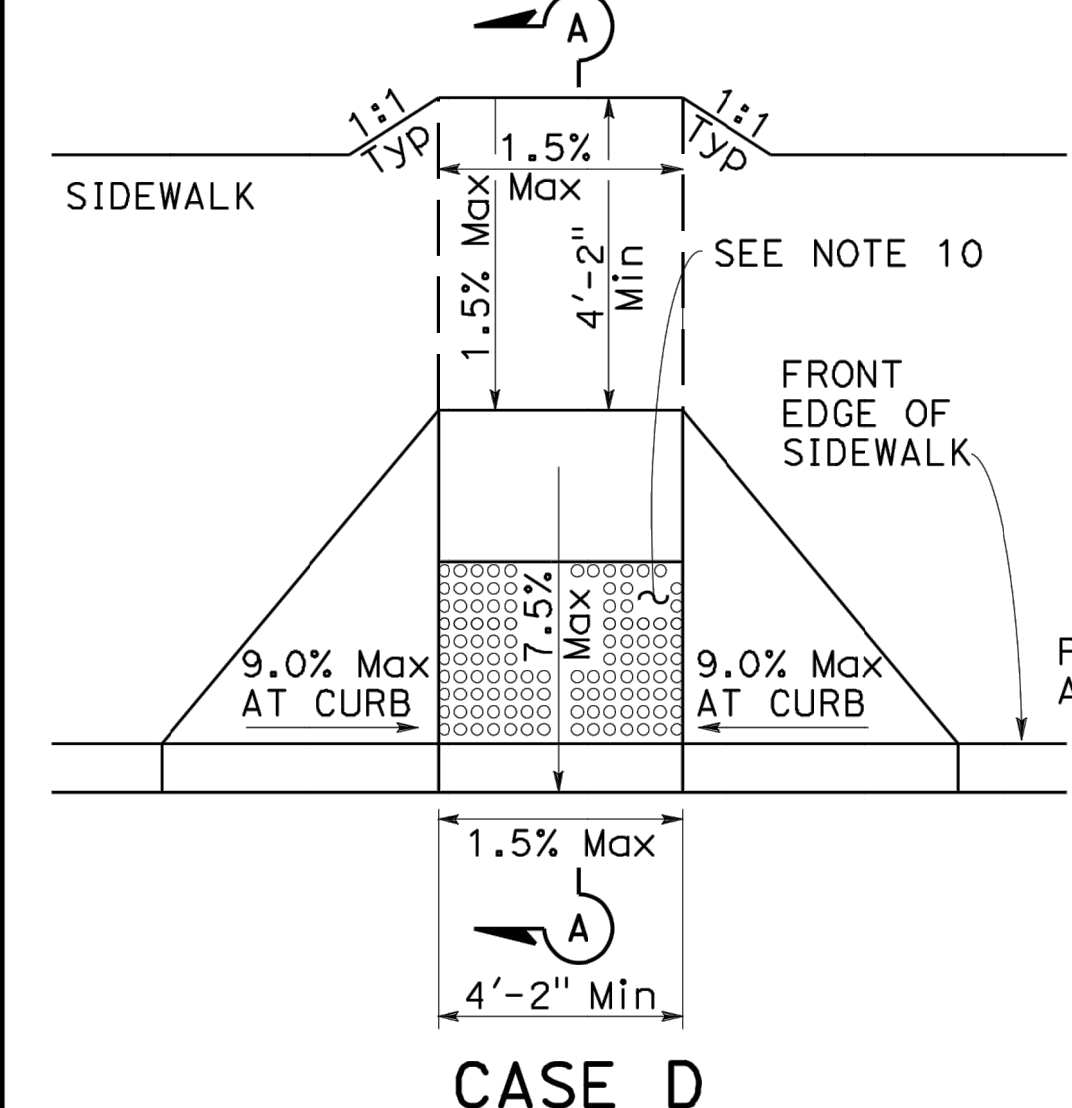
CASE A



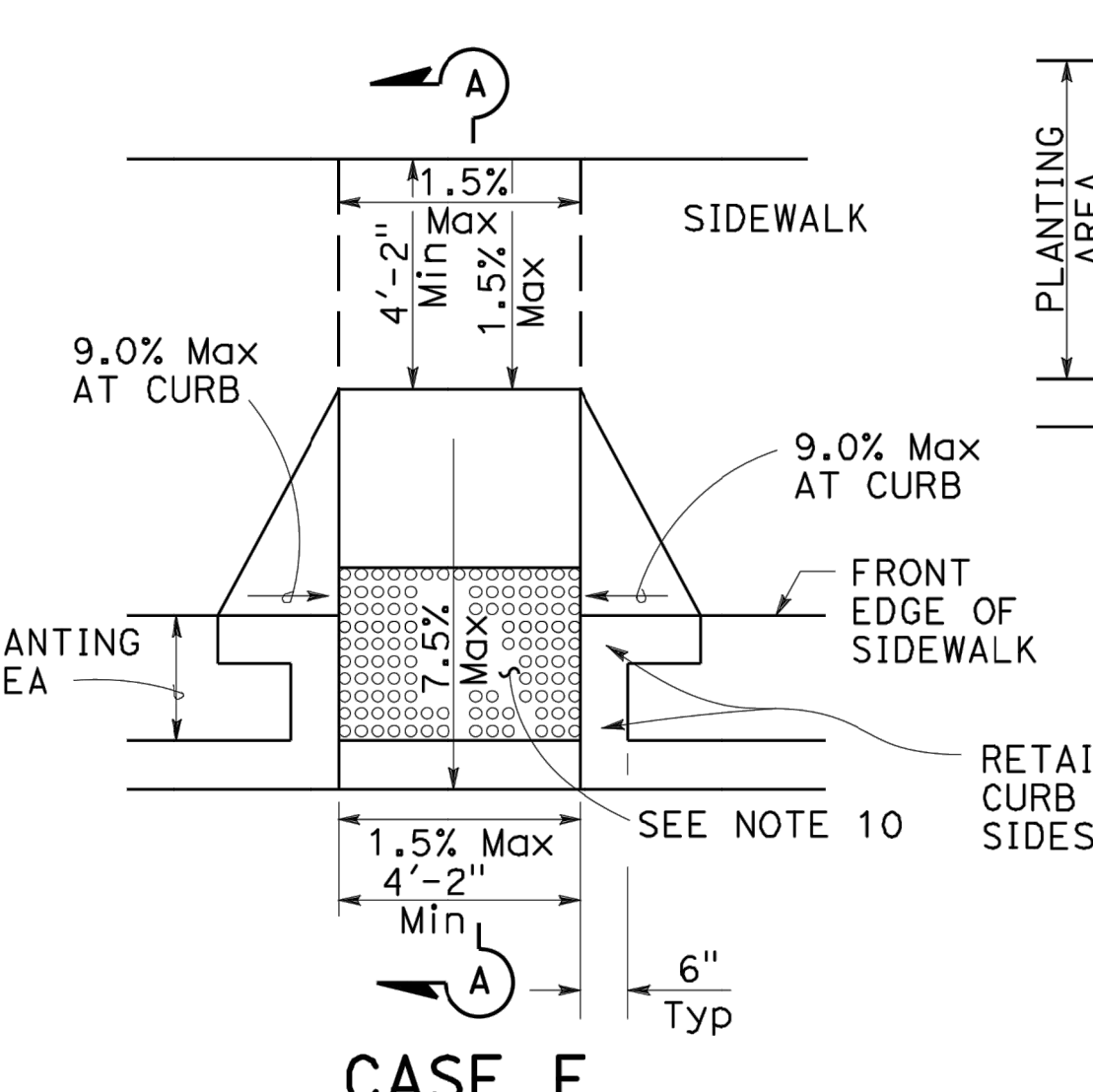
CASE B



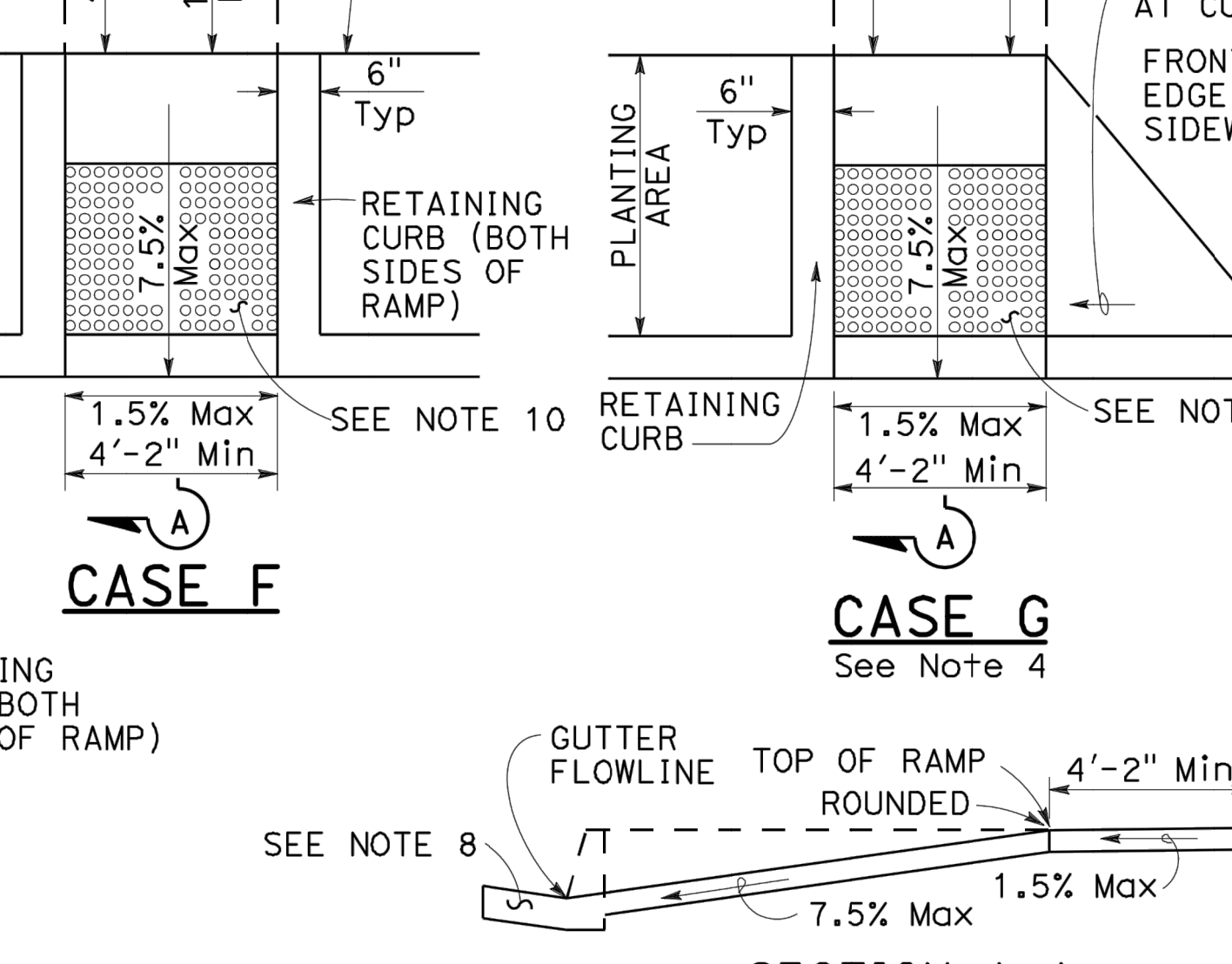
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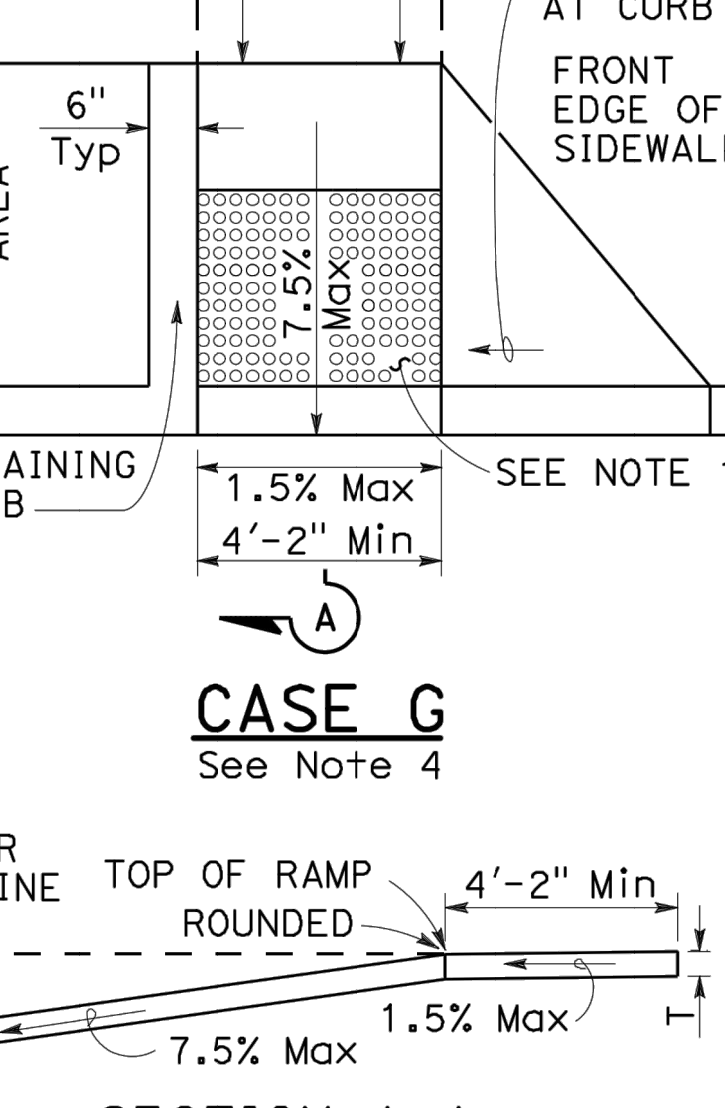
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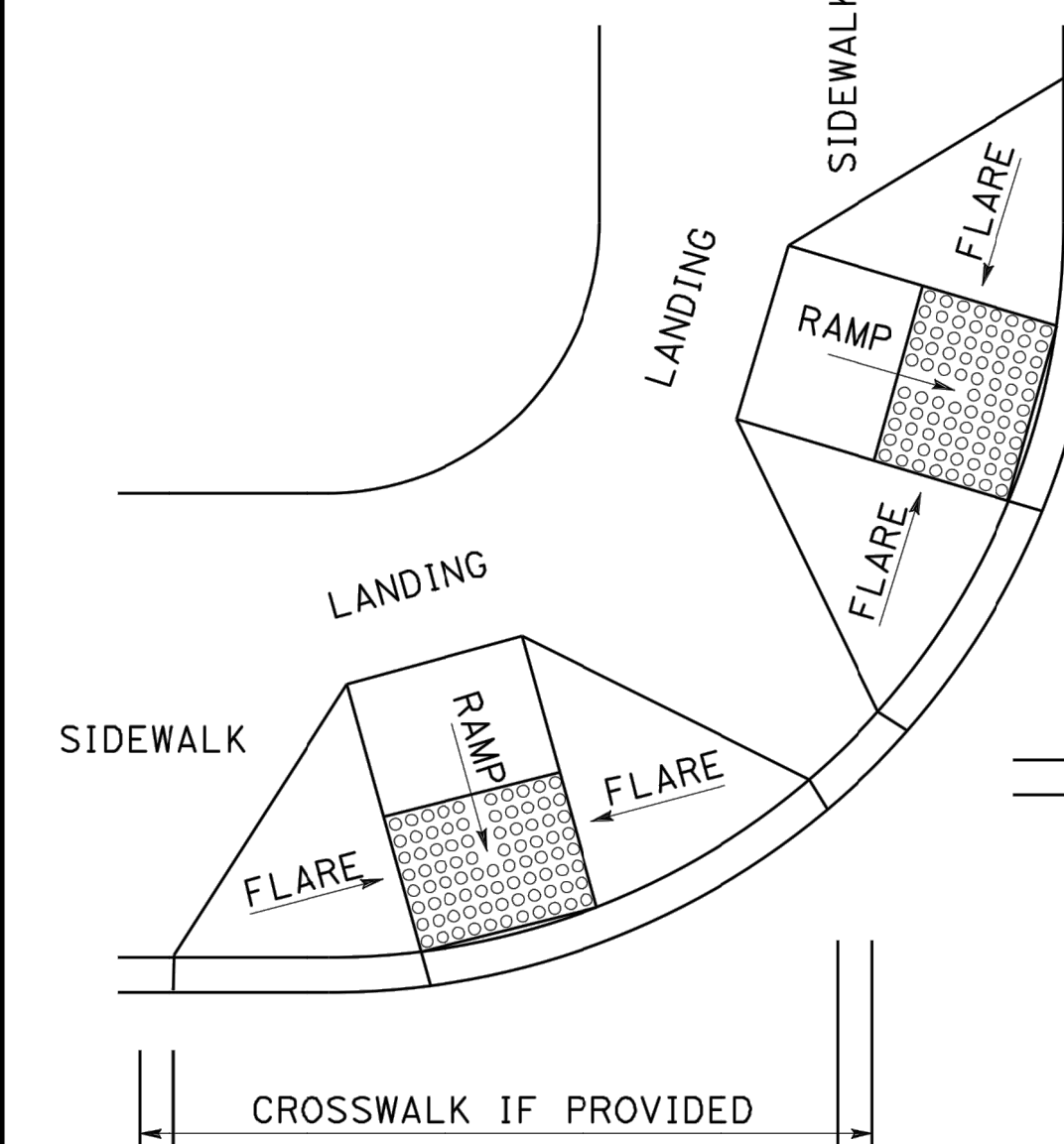
CASE E



CASE F

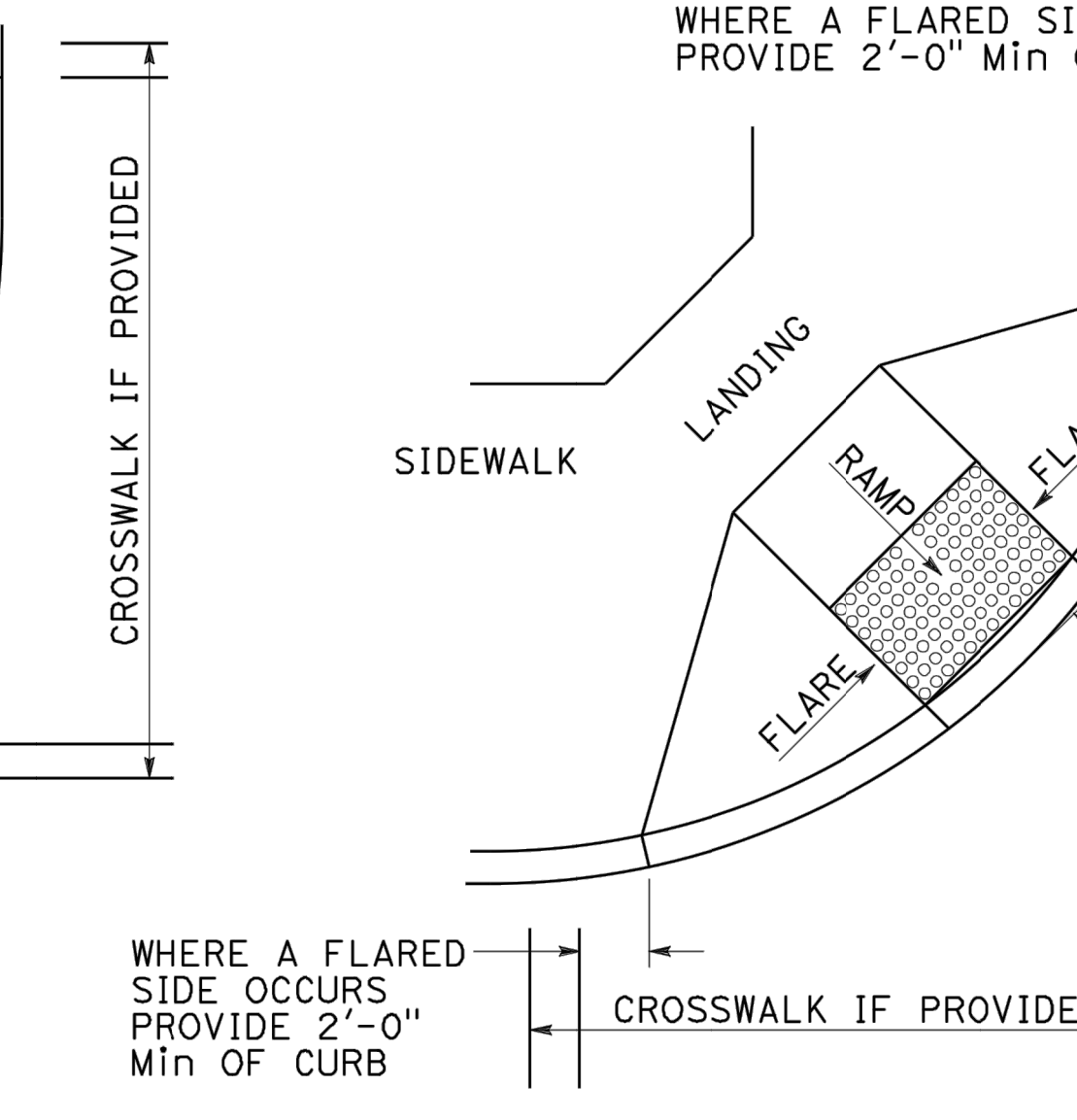


CASE G



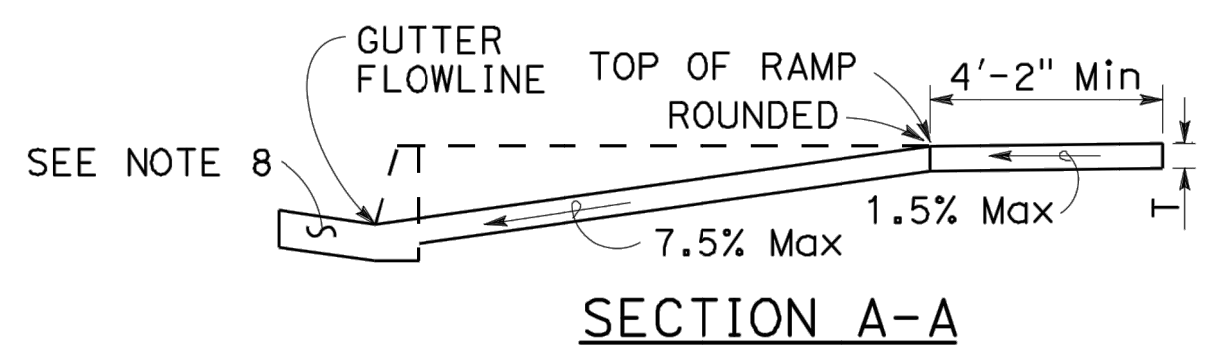
DETAIL A
TYPICAL TWO-RAMP
CORNER INSTALLATION

See Note 1

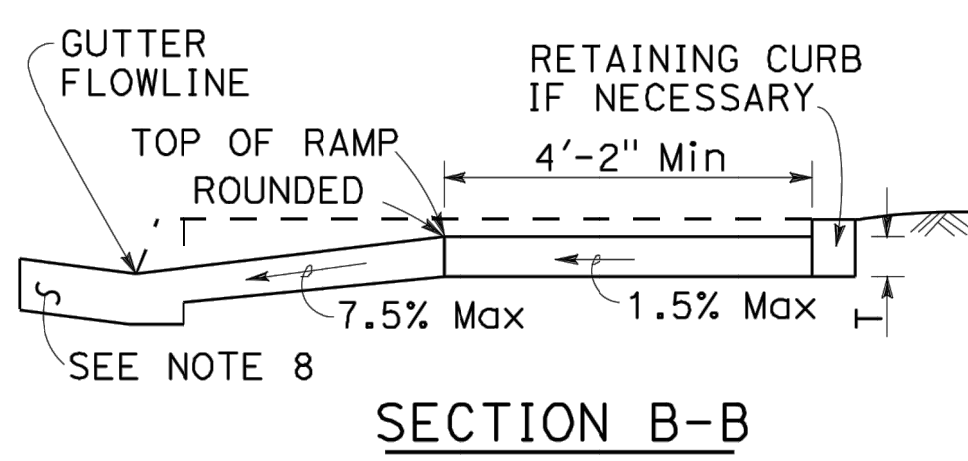


DETAIL B
TYPICAL ONE-RAMP
CORNER INSTALLATION

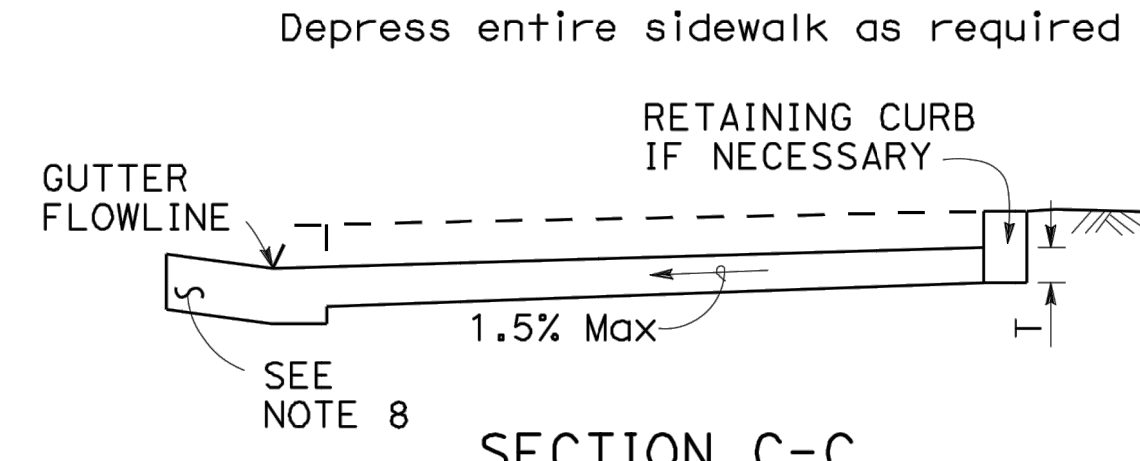
See Notes 1 and 3



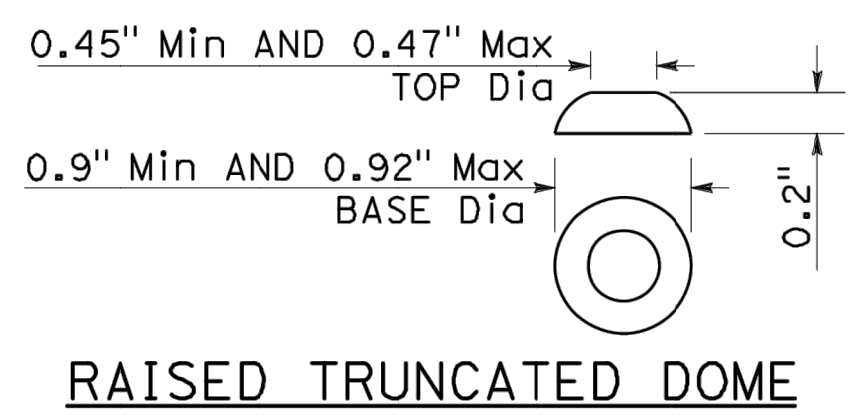
SECTION A-A



SECTION B-B



SECTION C-C



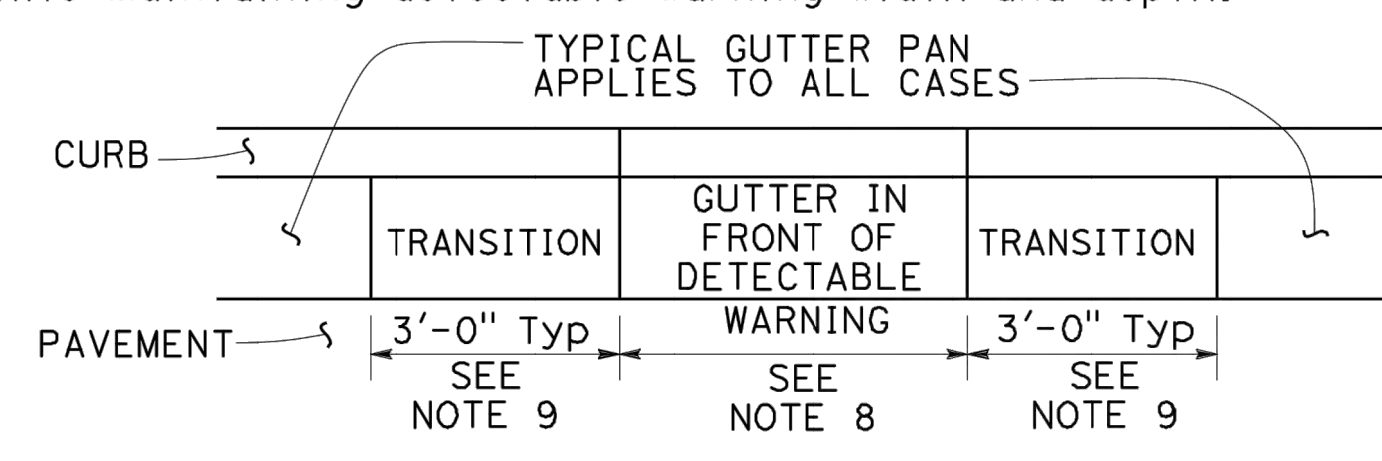
RAISED TRUNCATED DOME

2.3" Min AND 2.4" Max
CENTER TO CENTER
SPACING

RAISED TRUNCATED DOME PATTERN (IN-LINE)
DETECTABLE WARNING SURFACE

NOTES: See Note 10

- As site conditions dictate, Case A through Case G curb ramps may be used for corner installations similar to those shown in Detail A and Detail B. The case of curb ramps used in Detail A do not have to be the same. Case A through Case G curb ramps also may be used at mid-block locations, as site conditions dictate. For specific site condition configuration, including the conform to existing sidewalk, see Project Plans.
- If distance from curb to back of sidewalk is too short to accommodate ramp and 4'-2" platform (landing) as shown in Case A, the sidewalk may be depressed longitudinally as in Case B or C or may be widened as in Case D.
- When ramp is located in center of curb return, crosswalk configuration must be similar to that shown for Detail B.
- As site conditions dictate, the retaining curb side and the flared side of the Case G ramp shall be constructed in reversed position.
- The ramp portion of the curb ramp is a typical rectangle, unless modified in the Project Plans.
- Side slope of ramp flares vary uniformly from a maximum of 9.0% at curb to conform with longitudinal sidewalk slope adjacent to top of the ramp, except in Case C and Case F.
- The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.
- Counter slopes of adjoining gutters and road surfaces immediately adjacent to and within 24 inches of the curb ramp shall not be steeper than 1V:20H (5.0%). Gutter pan slope shall not exceed 1" of depth for each 2'-0" of width.
- Transition gutter pan slope from 1" of depth for each 2'-0" of width to match typical gutter pan slope per Standard Plan A87A.
- The detectable warning surface will be a rectangle as shown at back of curb, unless modified in the Project Plans. Curb ramps shall have a detectable warning surface that extends the full width and 3'-0" depth of the ramp. Detectable warning surfaces shall extend the full width of the ramp except a maximum gap of 1 inch is allowed on each side of the ramp. Detectable warning surfaces shall conform to the requirements in the Standard Specifications.
- Sidewalk and ramp thickness, "T", shall be 3/2" minimum.
- Utility pull boxes, manholes, vaults and all other utility facilities within the boundaries of the curb ramp will be relocated or adjusted to grade by the owner prior to, or in conjunction with, curb ramp construction.
- Detectable warning surface may have to be cut to allow removal of utility covers while maintaining detectable warning width and depth.



GUTTER PAN TRANSITION

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
CURB RAMP DETAILS
NO SCALE

A88A

2018 STANDARD PLAN A88A

GREENWOOD & MOORE, INC.
Civil Engineers • Designers
Land Surveyors • Planners
3111 Castro Valley Blvd., Ste. 200, Castro Valley, California, 94546
Tel: 510-581-2772 Fax: 510-581-6913 www.greenwoodmore.com



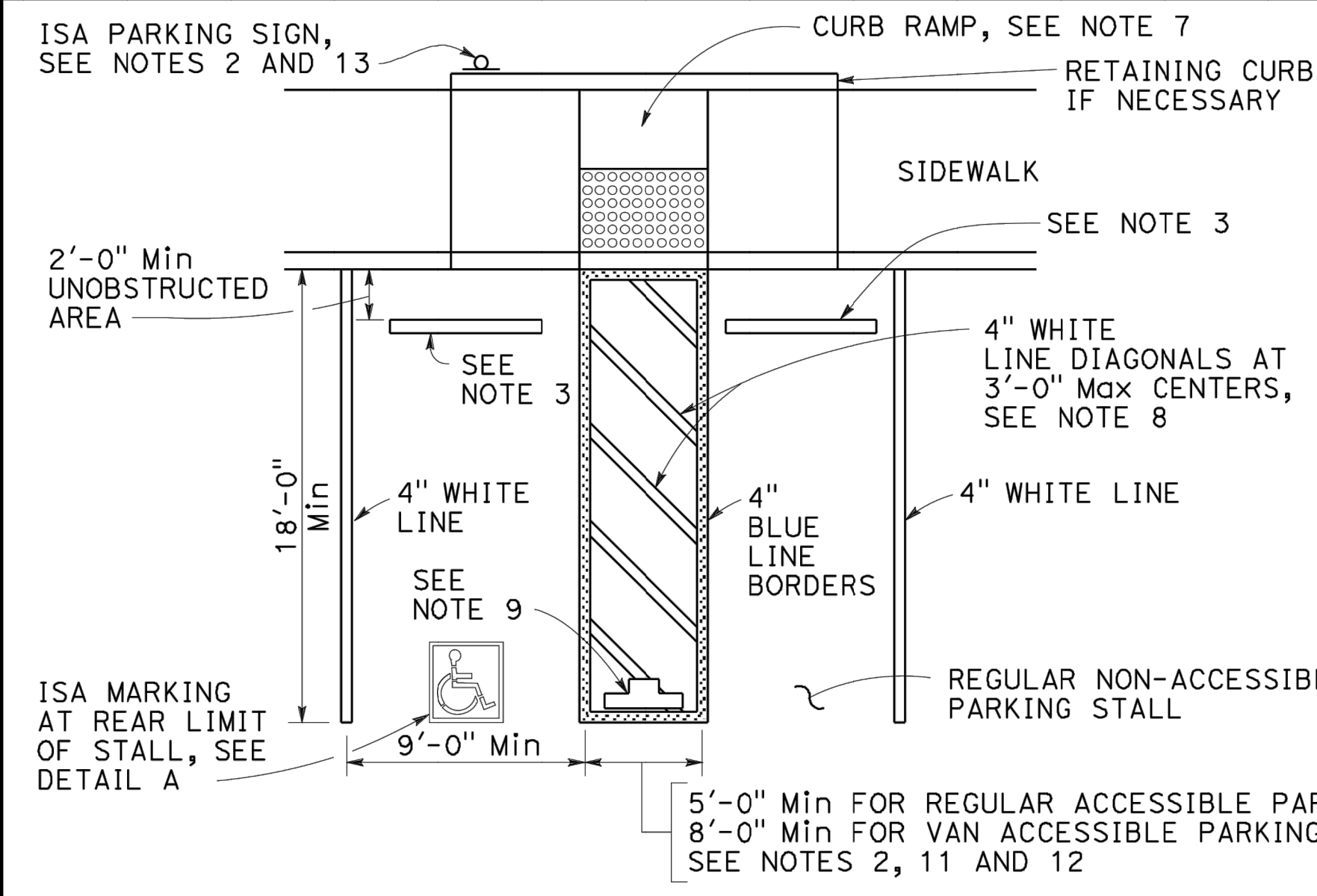
FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

ACCESSIBILITY DETAILS

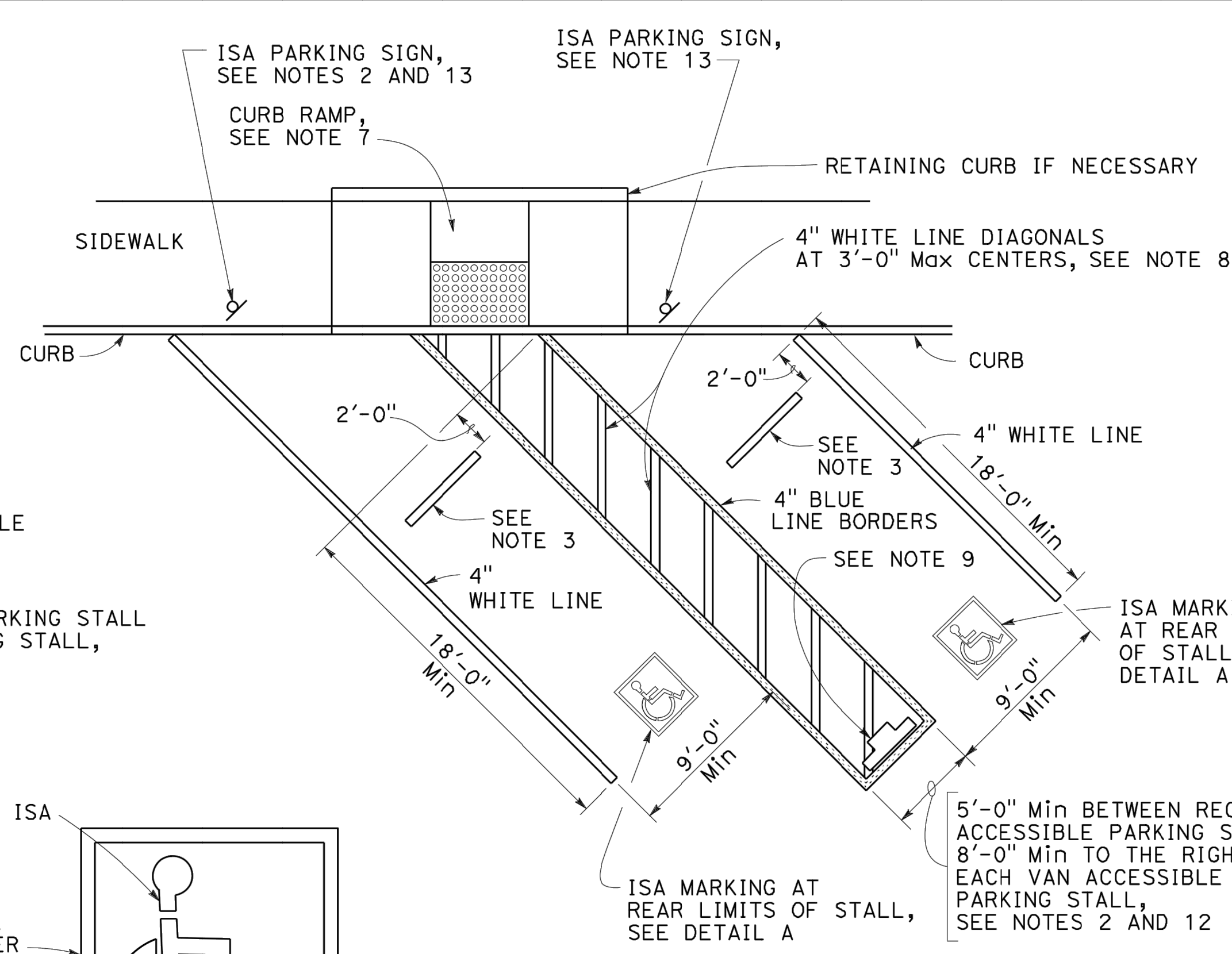
CHECKED BY:
DRAWN BY: TRL
SCALE: AS SHOWN
DATE: 11-08-2024
PROJECT NO.: 2024.054
PHASE NO.: XX
SHEET NO.:

C7.2

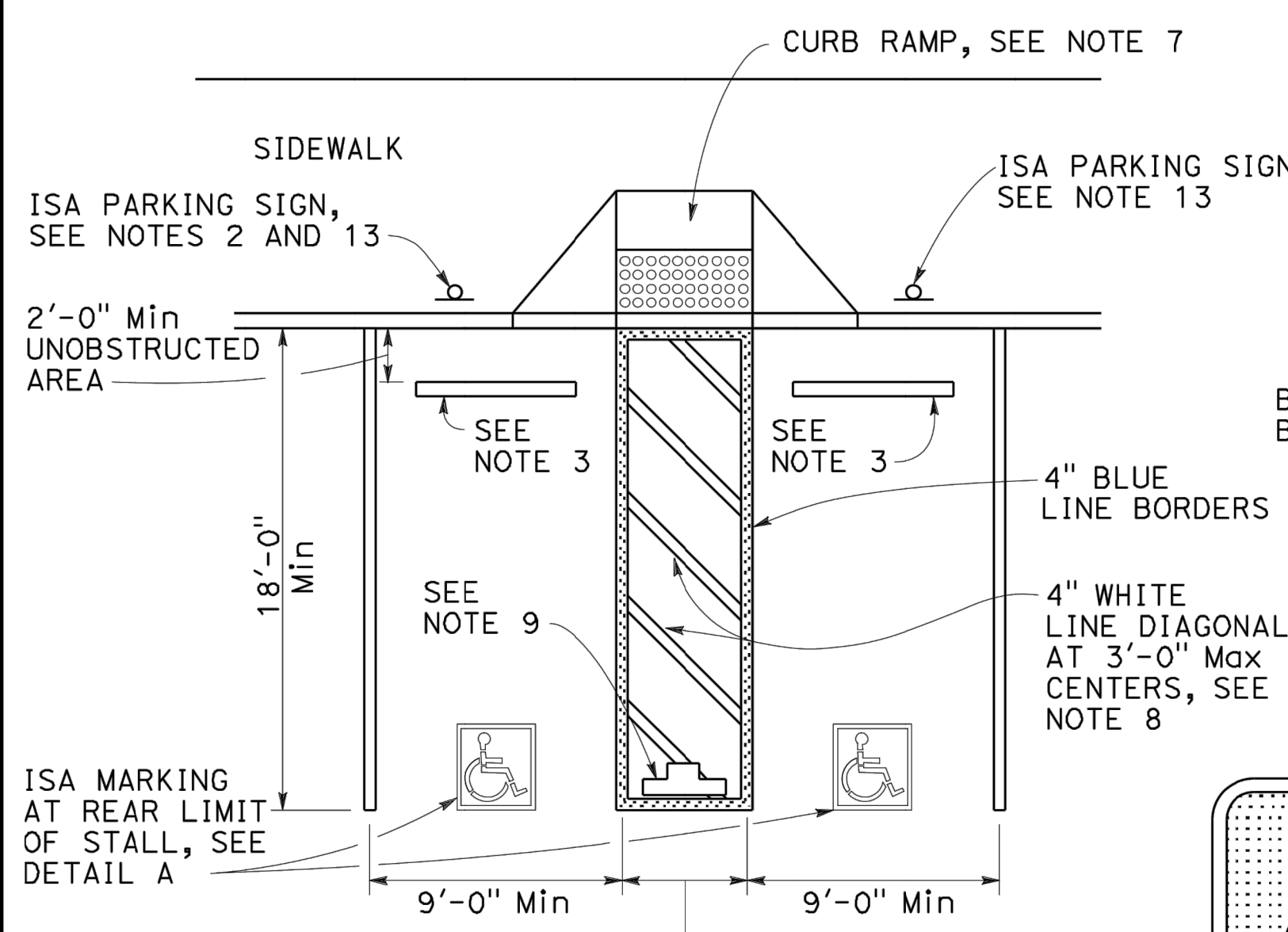
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SINGLE PARKING STALL



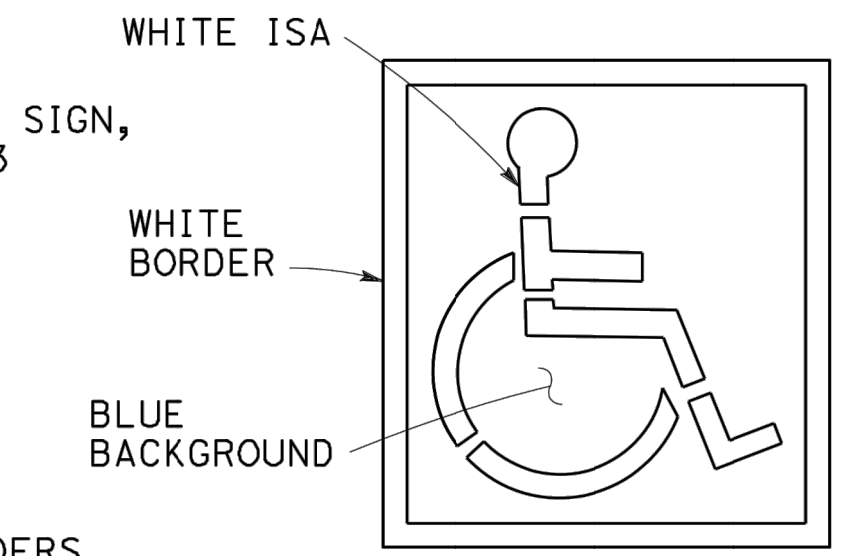
DIAGONAL DOUBLE PARKING STALLS



DOUBLE PARKING STALL

TABLE A

TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY	MINIMUM NUMBER OF REQUIRED ACCESSIBLE PARKING SPACES
1-25	1
26-50	2
51-75	3
76-100	4
101-150	5
151-200	6
201-300	7
301-400	8
401-500	9
501-1000	2 PERCENT OF TOTAL
1001 AND OVER	20 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1000



DETAIL A
ISA MARKING See Standard Plan A24C



SIGN R99 (CA)



PLAQUE R99B (CA)
SIGN R99 (CA) with PLAQUE R99B (CA)
See Note 6



SIGN R99C (CA)
See Note 6



SIGN R100B (CA)
See Note 10



SIGN R7-8b
See Notes 2 and 6

OFF-STREET PARKING SIGNS
(Parking lot or garage)
See Note 6

NOTES:

1. Accessible parking spaces serving a particular building shall be located on the shortest accessible route of travel from adjacent parking to an accessible entrance. In parking facilities that do not serve a particular building, accessible parking shall be located on the shortest accessible route of travel to an accessible pedestrian entrance of the parking facility.
2. One in every six accessible off-street parking stalls, but not less than one, shall be served by an accessible aisle of 8'-0" minimum width and shall be signed van accessible. The R7-8b sign shall be mounted below the R99B (CA) plaque or the R99C (CA) sign.
3. In each parking stall, a curb or parking bumper shall be provided if required to prevent encroachment of vehicles over the required width of walkways. Parking stalls shall be so located that persons with disabilities are not compelled to wheel or walk behind parked vehicles other than their own. For more parking bumper requirements, see the Standard Specifications.
4. Parking spaces and access aisles shall be level with surface slopes not exceeding 1.5% in all directions.
5. Table A shall be used to determine the required number of accessible parking stalls in each parking lot or garage.
6. Where Plaque R99B (CA), Sign R99C (CA) or Sign R7-8b are installed, the bottom of the sign or plaque panel shall be a minimum of 7'-0" above the surrounding surface.
7. Curb ramps shall conform to the details shown on Standard Plan A88A.
8. Blue paint, instead of white may be used for marking accessibility aisles in areas where snow may cause white markings to not be visible.
9. The words "NO PARKING", shall be painted in white letters no less than 1'-0" high and located so that it is visible to traffic enforcement officials. See Standard Plan A90B for details of the "NO PARKING" pavement marking.
10. A R100B (CA) sign shall be posted in a conspicuous place at each entrance to off-street parking facilities or immediately adjacent to and visible from each stall. The sign shall include the address where the towed vehicle may be reclaimed and the telephone number of the local traffic law enforcement agency.
11. Where a single (non-van) accessible parking space is provided, the loading and unloading access aisle shall be on the passenger side of the vehicle as the vehicle is going forward into the parking space.
12. Where a van accessible parking space is provided, the loading and unloading access aisle shall be 8'-0" wide minimum, and shall be on the passenger side of the vehicle as the vehicle is going forward into the parking space.
13. Accessible Parking Only Sign shall be Sign R99C (CA) or Sign R99 (CA) with Plaque R99B (CA).

LEGEND

ISA = International Symbol of Accessibility

STATE OF CALIFORNIA
DEPARTMENT OF TRANSPORTATION
**ACCESSIBLE PARKING
OFF-STREET**
NO SCALE

A90A

2018 STANDARD PLAN A90A



FAIRVIEW FIRE
25862 FIVE CANYONS PARKWAY
HAYWARD, CALIFORNIA 94552
APN: 417-0289-008

ACCESSIBILITY DETAILS

CHECKED BY: _____
DRAWN BY: **TRL**
SCALE: **AS SHOWN**
DATE: **11-08-2024**
PROJECT NO.: **2024.054**
PHASE NO.: **XX**
SHEET NO.: _____

C7.3

10. APPROVAL OF CHANGES TO GOVERNANCE POLICY

INFO/ACTION



FAIRVIEW

FIRE PROTECTION DISTRICT

POLICY

GOVERNANCE

NUMBER: 103.2
EFFECTIVE: 11/4/2024
PAGE 1 OF 4 PAGES

I Purpose

The purpose of this Policy is to outline the roles, responsibilities, and working relationships of the Board of Directors, General Manager, contracted Administrative Staff, and Fire Chief.

II Policy

A. Fairview Fire Protection District Board of Directors

The Fairview Fire Protection District (“FFPD”) Board of Directors’ duties are legislative in nature, formulating and collectively adopting policies for the operation, budget, and guidance of the District. The FFPD Board is not directly involved in the technical fire and emergency operations of the District, as this is overseen by the Fire Chief serving the District by contract or direct hire.

The FFPD Board of Directors are elected by and accountable to the constituents served by the Fairview Fire Protection District. The Directors shall be accessible through the General Manager, contracted administrative staff, as well as electronically (*i.e.*, email, website, social media), USPS mail, and during the public comment portion of each FFPD District meeting.

The Directors are responsible for developing and updating the Strategic Plan, ensuring high quality fire and emergency services are delivered throughout the District, maintaining fiscal responsibility when approving FFPD budgets and expenditures, providing transparency, and conducting themselves as a welcoming and cohesive body.

On or before June 30 of each calendar year, the FFPD Directors shall adopt a preliminary budget and complete a final budget by October 1 of the same year.

The Board of Directors shall conduct all business and meetings in compliance with the Brown Act (Govt. Code §§ 54954 & 54957).

Should the FFPD District not participate in a Contract for Fire and Emergency services, the Board shall establish Personnel Policies & Procedures, which shall outline sound hiring practices, recruitment, selection, retention, evaluation, and termination of District employees. The FFPD Board shall always employ, or contract with, a qualified, specifically trained, and competent Fire Chief who shall administer and supervise the delivery of emergency medical and fire response within the District. The Fire Chief shall report to the Board.

B. General Manager

The GM shall be employed/contracted by the Board and serves at the will of the Board. In the event the position is vacant, the President of the Board shall ensure the duties of the GM are performed by temporarily utilizing Directors and contractors. *See* Attachment A for job specification.

The GM shall use his/her best efforts to perform certain duties and responsibilities as the General Manager of the FFPD, including the following:

- Advocate FFPD's mission and develop support for its services in appropriate venues; Oversee and assist with implementation of FFPD's Strategic Plan.
- Oversee budget, track finances and ensure performance against the budget via a report to the Board of Directors.
- Manage and direct FFPD vendors and consultants, including accounting, bookkeeping, fire services, legal and website service providers in accordance with FFPD's contracts, policies and applicable laws.
- Assist the Board in preparing for all regular and special Board meetings.
- Attend all Board meetings.
- Organize and manage community outreach, including at least one Open House event;
- Perform other duties as General Manager as may be assigned by the FFPD Board and/or developed through Board approved policies.

C. Fire Protection Services Contractor

1. Fire Chief

The contracted or employed Fire Chief of the Fairview Fire Protection District shall serve in a manner consistent with California state law and regulations and ensure the delivery of fire and emergency medical services consistent with recognized accepted standards. The Fire Chief is responsible for day-to-day operational service delivery to the District, and meeting those conditions outlined in the Contract for Services as agreed and overseen by the FFPD Board of Directors.

2. Administrative Staff

The Administrative Staff provides clerical, organizational and administrative support to the FFPD Board of Directors, GM, and Fire Chief. Tasks include but are not limited to:

- a) Assemble and distribute FFPD Meeting Agenda packets and ensure public notification.
- b) Work with GM to develop and maintain annual budget documents, budget monitoring and projection tools, and process expenditures for payment.
- c) Liaison between agencies and residents to facilitate the annual FFPD service area Weed Abatement Program.

Board President Signature:

Date:

Attachment A

1. General Manager Criteria

Skills/Abilities

- Facilitate discussions/workshops with the Board.
- Liaison with various agencies/constituents/contractors.
- Maintain awareness of political/regulatory trends impacting the District.
- Prepare written and oral reports/communication.
- Maintain a positive working relationship with Directors, public, and contractors.
- Effectively utilize computers and software necessary for conduct of District business *i.e.* PowerPoint, Word, Excel, e-mail etc.
- Able to travel to and attend evening meetings.

Qualifications

- Minimum two (2) years working in administrative capacity in public sector, preferably a Special District supporting elected officials.
- Bachelor's degree in Public Administration, Management or related field is preferred.
- Able to work from home office.

2. Selection Process

An Ad Hoc Committee of the Board shall review resumes and interview prospective candidates and make recommendation to the whole Board. The Board may approve this recommendation or request the Ad Hoc Committee return with another recommendation.



FAIRVIEW

FIRE PROTECTION DISTRICT

POLICY

GOVERNANCE

NUMBER: 103.24
EFFECTIVE: 11/1/241/28/2020
PAGE 1 OF 4 PAGES

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B. General Manager (GM)

The ~~General Manager~~ (“GM”) conducts and coordinates the day-to-day business of the District and is responsible for providing managerial, analytic ~~al~~ and administrative support to the Board in order to fulfill its duties. *See* Attachment A for job specification.

The GM shall be employed/contracted by the Board and serves at the will of the Board. This is a part time management position. In the event the position is vacant, the President of the Board shall ensure the duties of the GM are performed by temporarily utilizing Directors and contractors. The GM shall:

1. Implement the policies and directives established by the Board.
2. Serve as liaison between the Directors and the general public, the contracted Fire Protection Services provider, associated government agencies (*i.e.*, Alameda County, Local Agency Formation Commission, State Controller), community organizations, as well as oversee professionals who serve the District (*i.e.*, bookkeeper, auditor, insurance provider, and lawyer).
3. Develop meeting agendas for regular and special board meetings.
- ~~4.~~ Ensure timely FFPD compliance with state, county, and local regulations.
- ~~5.4.~~ Ensure the compliance and execution of the Strategic Plan and District Policies and Procedures.
- ~~6.5.~~ Prepare oral and written communications representing the District as needed.
- ~~7.~~ Review and authorize all budget approved expenditures up to \$5,000.
- ~~8.6.~~ Consult with ~~FFPD~~ District legal counsel as needed.
- ~~7.~~ Ensure up-to-date information on the FFPD District website.
- ~~9.8.~~ Acquire vendor quotes or develop formal bid specification as needed.

C. Fire Protection Services Contractor

1. Fire Chief

The contracted or employed Fire Chief of the Fairview Fire Protection District shall serve in a manner consistent with California state law and regulations and ensure the delivery of fire and emergency medical services consistent with recognized accepted standards. The Fire Chief is responsible for day-to-day operational service delivery to the District, and meeting those conditions outlined in the Contract for Services as agreed and overseen by the ~~GMFFPD Board of Directors~~.

2. Administrative Staff

The Administrative Staff provides clerical, organizational and administrative support to the FFPD Board of Directors, GM, and Fire Chief. Tasks include but are not limited to:

- a) Assemble and distribute FFPD Meeting Agenda packets and ensure public notification.
- b) Work with GM to develop and maintain annual budget documents, budget monitoring and projection tools, and process expenditures for payment.
- c) Liaison between agencies and residents to facilitate the annual FFPD service area Weed Abatement Program.

Board President Signature:

Date:

Attachment A

1. General Manager Criteria

Skills/Abilities

- Facilitate discussions/workshops with the Board.
- Liaison with various agencies/constituents/contractors.
- Maintain awareness of political/regulatory trends impacting the District.
- Prepare written and oral reports/communication.
- Maintain a positive working relationship with Directors, public, and contractors.
- Effectively utilize computers and software necessary for conduct of District business *i.e.* PowerPoint, Word, Excel, e-mail etc.
- Able to travel to and attend evening meetings.

Preferred Qualifications

- Minimum two (2) years working in administrative capacity in public sector, preferably a Special District supporting elected officials.
- Bachelor's degree in Public Administration, Management or related field ~~is~~ preferred.
- Able to work from home office.

2. Selection Process

An Ad Hoc Committee of the Board shall review resumes and interview prospective candidates and make recommendation to the whole Board. The Board may approve this recommendation or request the Ad Hoc Committee return with another recommendation.

1 1. GENERAL MANAGER REPORT

INFO/ACTION

12. BOARD MOTIONS AND APPROVALS

INFO/ACTION

**FAIRVIEW FIRE PROTECTION DISTRICT REGULAR
BOARD MEETING MINUTES
MONDAY, SEPTEMBER 30, 2024, 7:00 PM
MEETING VIA TELECONFERENCE OVER ZOOM
25862 FIVE CANYONS PARKWAY, CASTRO VALLEY, CA 94552**

1. CALL TO ORDER AND PLEDGE OF ALLEGIANCE

The meeting was called to order by Board Vice President Michael Justice at 7:01 p.m. Director Justice led the pledge of allegiance.

2. ROLL CALL

Board members present: Directors Robert Clark, Michael Justice, Mark McDaniel, and Melissa Dimic. Director Choi was a late arrival at 7:44 PM.

In addition, the following staff and service providers were present: Acting Fire Chief Eric Vollmer, General Manager Michael Preston, and Conor Kennedy, Esq. of Garcia Hernandez Sawhney, LLP. Fire Marshall Miles Massone and Fire Services Analyst Tara Reyes attended as well.

3. WELCOME

President Dimic made welcome comments.

4. PUBLIC COMMENT PERIOD

President Dimic opened the public comment period. No comment was provided.

5. MESSAGE FROM THE PRESIDENT

President Dimic welcomed everyone to the meeting and congratulated Leo for winning the raffle. President Dimic awarded the prize of a fully stocked emergency preparedness kit.

6. FIRE CHIEF'S REPORT

Acting Fire Chief Eric Vollmer and Fire Marshal Massone delivered the Incident Response Report, the Vegetation Management Update, and the Fire Prevention Activity report. Chief Vollmer reported to the Board that the Emergency Services Officer has a meeting next week with the Berkeley Fire Department in the upcoming week pertaining to Fire Sensor Technology for early detection of fires in the surrounding area.

A member of the public asked whether that will have an impact on parcel owners who engage in safe outdoor cooking.

The Board asked the Chief questions.

7. FFPD FINANCIAL UPDATE

The General Manager briefed the Board about the fund balance report and the Accountant Reports in the packet.

The Board asked questions of the General Manager about individual expenditures.

Director Dimic moved to accept the July and August 2024 Accountants' Report in the packet. Director Justice seconded. The motion was carried unanimously.

AYES 4 (Dimic, Clark, Justice, McDaniel), ABSENT 1 (Choi), NOES 0, ABSTAIN 0.

8. GENERAL MANAGER REPORT

General Manager Preston updated the Board about:

- Open House Report
- Fire Station Road Repair Project
- 2024 General Election
- Personal Emergency Preparedness Class Offering through the Email Listserv and CERT Class Offerings
- Fire Station Tour Video on Website
- Replacement Schedule for Fire Engine

A member of the public mentioned reaching out to high school video production teams.

9. NATIONAL NIGHT OUT REPORT OUT – DIRECTOR CLARK

Director Clark provided a report to the public and the Board from National Night Out.

10. BOARD MOTIONS AND APPROVALS

Secretary McDaniel moved to approve the minutes from the July 29, 2024, regular meeting. Director Justice seconded. The motion was carried unanimously. AYES 5 (Clark, Dimic, Justice, McDaniel, Choi), NOES 0, ABSTAIN 0.

11. MEETING ACTION ITEM SUMMARY

General Manager will send out the neighbor letter and work on agreements with neighbors related to the upcoming road closure.

General Manager will bring the RFP back for Board approval at the November meeting.

General Manager will continue overseeing the District's offer of the Personal Emergency Preparedness Class and the CERT Class and report back to the Board.

General Manager will check the cost to update the tour video on the website and reach out to local high school video production teams for potential cost savings.

Department will meet with the Berkeley Fire Department and report back to the Board.

General Manager will make updates to the report spreadsheet.

12. COMMENTS BY BOARD MEMBERS

Board Members made comments.

13. AGENDA ITEMS FOR THE NEXT BOARD MEETING

Road Repair RFP

President Dimic appointed Director McDaniel and herself to a Succession Planning Ad Hoc.

ADJOURNMENT

President Dimic moved to adjourn the meeting and Director Justice seconded. The motion was carried unanimously. **AYES 5 (Clark, Dimic, Justice, McDaniel, Choi), NOES 0, ABSTAIN 0**

Meeting adjourned at 8:02 PM.

Mark McDaniel
Secretary of the Board of Directors
Fairview Fire Protection District

13. MEETING ACTIONS ITEMS SUMMARY

14. COMMENTS BY BOARD MEMBERS

15. AGENDA ITEMS FOR NEXT BOARD MEETING